

RECALL
File Barcode Only
F5500034030326

43

SAMHORDER

10041026

TCC - FILE
4117970

LOT 48
SP 181727

SCANNED

43

Thuringowa City Council

BUILDING PERMIT NUMBER

BAC 1078/06

PROPERTY NUMBER

30594

OWNER



BUILDER

SMARTBUILT

ADDRESS OF WORK

43 SAMHORDERN

REAL PROPERTY DESCRIPTION

LOT 48 SP 181727

DESCRIPTION OF BUILDING OPERATIONS

SHED

SCANNED



Development Certifications

Building Certifiers and Development Consultants
595 Flinders Street, Townsville. 4810.

Project Number 93882 / 1

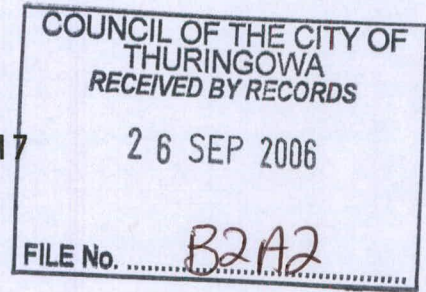
Phone (07) 4772 1479

Fax (07) 4772 2557

Date: 25 September, 2006

Document Transmittal

Attention : Records Manager
Council: Thuringowa City Council
Address: 86 Thuringowa Drive; Thuringowa, QLD 4817
From: Kellie Thompson
Subject: Building works approval document lodgement.



Pursuant to section 3.5.15 of the Integrated Planning Act, copies of the Development Approval relating to Building Work for the project detailed below are lodged for Local Government records.

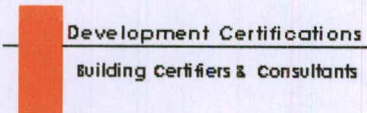
Development Description: New building/Structure Shed
Property Address: 43 Samhordern Raod Rupertswood.
Property Description: lot 48 SP 181227 181727

Documents Transferred.

- Form 20
- Development Application Form
- Documentation approved and endorsed by the Building Certifier
- Decision Notice

On receipt of an invoice Development Certifications will arrange for an electronic transfer of \$20.00 into Council's bank account .

Regards



	M	C	D	I	P	E	C	T	F	S		I	A
	Y	O	O	R	L	O	D	W	I	O		C	G
ACTION					26								
REPLY					SEP								
INFO					2006								
ATCH													

6232.1
30594



Development Certifications

Building Certifiers and Consultants

Development Approval Decision Notice

Our reference:- 93882
Your reference:- 3055/1G

Date: 22 September, 2006

Karma 2004 Pty Ltd
21 AUSCAN CRES
GARbutt. 4814

Dear Sir,


Development Permit: Building Works
Construct: New building/Structure Shed
Location: 43 Samhordern Raod Rupertswood

Reference is made to your application for a Development Permit to carry out building works at the above address.

Your application assessment was completed by Greg Dempster on September 22, 2006 and the attached stamped plans are approved with conditions.

The following are the relevant particulars of your Development Permit.

Development Permit Number :- 93882 - 1

Site Details:	43 Samhordern Raod Rupertswood
Real Property Description:	lot 48 SP 181227
Parish: Ross	County: Elphinstone
Local Government Area:	Thuringowa City Council
Property Owner(s):	
Building Certifier:	Greg Dempster
Accreditation Number:	A461735.

Referral Agencies

There are no referral agencies triggered for this development.

Other Development Approvals Required

No other development approvals are required for this development.

Self-Assessable Development: Design Codes

The Thuringowa City Council Town Planning Scheme.

Conditions of Approval

Attached in the following Schedule are the Conditions of this Development Approval.

Rights of Appeal

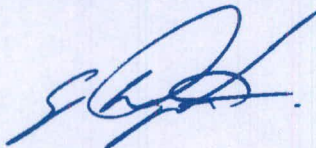
The applicant or any submitters have the right to appeal this Decision Notice as detailed in Chapter 4 of the Integrated Planning Act 1997.

Advice to Applicant

Building work must be carried out in accordance with the approved plans, specifications, and the requirements of all relevant Laws and Codes

Development Certifications Pty Ltd must issue prior approval before commencing any deviations to approved documents.

Approval issued by Development Certifications Pty Ltd to complete the proposed building work does not relieve the building owner of the responsibility to see that the work is carried out in accordance with the approved documentation. Development Certifications Pty Ltd does not undertake the detailed supervision of the builder.



Greg Dempster
Accredited Building Certifier
Accreditation Number A461735.

Schedule of Conditions Development Permit No: 93882 - 1

CERTIFIED PLANS

The proposed building works is to be constructed in accordance with the following approved plans numbered.

Architectural -	Ranbuild - Site Plan Ranbuild Floor Plan & Elevation TOWNS2-3055 Sheets 1-2 Ranbuild RC Slab Plan RSP-3055
Structural Engineering -	D&S Engineering SD/O-V57C-ES D&S Engineering SD9.2/O-V57C-ES

SITE IDENTIFICATION

Site boundaries are to be identified to ensure the proposed building work is maintained within the property's alignment.

ON SITE SEPTIC TRENCHES

The proposed shed is required to be a minimum distance of 2 metres from any adsorption/evaporation trench on the property.

WIND CLASSIFICATION

The wind classification for this site has been determined as C2 in accordance with AS 1170 - 2002.

BUILDING WORK OVER EXISTING SANITARY DRAINAGE

Building work over or adjacent to existing sanitary drainage must comply with AS/NZS 3500.2.2:1996 (National plumbing and drainage), part 2.2 (Sanitary plumbing and drainage-Acceptable solutions) to the extent the standard applies to buildings over sanitary drainage.

SOIL CLASSIFICATION

If the proposed location for the shed has a soil classification other than "A", "S" or "M" then a registered professional engineer is required to be consulted to certify the slab design.

ROOF STORM WATER DRAINAGE

The design of the stormwater drainage system for the development must comply with AS/NZS 3500.3.2 and provide protection to land, buildings and structures in the neighborhood in accordance with Section 54 of the Standard Building Regulations.

Storm water is to be contained within the property boundary until it reaches the legal point of discharge.

FOOTING PHOTOGRAPHS

As a footing inspection is not required for class 10 buildings we request that we be provided with a photo of the prepared footings and slab before the concrete is placed.

COMPACTION OF CONCRETE

During placement, concrete is to be thoroughly compacted in accordance with Australian Standards AS 2870 and AS 3600.

MOUND CONCRETE AROUND COLUMNS

Where there are isolated columns the concrete to the column footings is required to be mounded up above ground level so as to prevent water lying against the columns.

THRESHOLDS

The height of the threshold to external doorways is not to exceed 570mm or 3 risers in accordance with Clause 3.9.1.5 of the Building Code of Australia, Volume 2.

STRUCTURAL STEEL - PROTECTION FROM CORROSION

Structural steel is to be protected against corrosion with protective coatings in accordance with Section 3.4.4.4 of the Building Code of Australia Volume 2. Where the external surface finish of galvanised steel products is less than 300g/m², additional protective coatings are required to provide the required level of protection in accordance with the Standard Building Regulations.

SELF DRILLING SCREWS

Selection and use of self-drilling screws is to be in accordance with Australian Standard AS 3566 to suit the exposure classification of the site.

DOCUMENTATION TO BE KEPT ON SITE

In accordance with Section 32 of the Standard Building Regulations, a legible copy of the current plans and the decision notice for the development is to be kept on site while the building work is in progress.

MANDATORY INSPECTIONS

The Building Certifier in accordance with the Standard Building Regulations must carry out the following mandatory inspections:

Final inspection: Substantial completion of all building work with plumbing and drainage works finalised.

NOTIFICATION PROCEDURE OF INSPECTION

Development Certifications contact details are listed below. To arrange for inspections to be carried out please contact one of our administration officers. In the event that inspections are requested 2 years or more after this decision notice date an additional fee of 75% of the than inspection cost will apply.

Phone (07) 4772 1479

Fax (07) 4772 2557

Email mail@devcert.com

Integrated Planning Act 1997 s5.3.5 and Standard Building Regulation 1993 s26

Lodgement of Building Work Documentation 20

1. Building Description	Building Use <input type="text" value="Shed"/>	Building Class <input type="text" value="10a"/>	Shop/Tenancy Numer <input type="text" value=""/>	Storey/Level <input type="text" value="1"/>
--------------------------------	---	--	---	--

2. Property Description	Street address (Include no., street, suburb / locality & postcode)		
<p>The description must identify all land subject of the application including land/easements over which access is to be obtained.</p> <p>The lot & plan details (eg. SP / RP) are shown on title documents or a rates notice.</p> <p>If the plan is not registered by title, provide previous lot and plan details.</p>	<input type="text" value="43 Samhordern Raod"/>		
	<input type="text" value="Rupertswood, Thuringowa"/>		<input type="text" value="Post Code 4817"/>
	Lot & plan details (Attach list if necessary)		
	<input type="text" value="lot 48"/>		
	<input type="text" value="SP 181227 131727"/>		
	Shop / tenancy no. (If applicable)	Storey / level (If applicable)	Total area of land (m2 / ha)
	<input type="text" value=""/>	<input type="text" value="1"/>	<input type="text" value="4023 m2"/>
	In which local government area is the land situated?		
	<input type="text" value="Thuringowa City Council"/>		

3. Documents lodged	<p>Please attach one copy of these documents, submitted under section 5.3.5 of the <i>Integrated Planning Act 1998</i> and section 26 of the <i>Standard Building Regulation 1993</i>. (Tick applicable box/es)</p> <p>The private certifier must ensure each document is marked to identify it as a document approved by the private certifier and relating to the development approval.</p> <p>Before giving the documents to the assessment manager the private certifier must ensure the approved form for the application is completed.</p>
	<input checked="" type="checkbox"/> The application <input checked="" type="checkbox"/> The plans, drawings, specifications and other information lodged by the applicant. <input type="checkbox"/> A list of required fire safety installations and required special fire services applying to the building work. <input checked="" type="checkbox"/> Certified information given by competent persons and relied upon to decide the application. <input type="checkbox"/> If the building work uses a performance based solution - a notice of the reasons upon which the approval is based. <input checked="" type="checkbox"/> The attached list of development information relied on to decide the application. <input checked="" type="checkbox"/> The decision notice or the negotiated decision notice.

4. Confirmation Receipt	<p>If the assessment manager is a local government, the local government must immediately give the private certifier a document acknowledging the receipt of the archiving fee.</p> <p>The private certifier must not give the applicant any approved documents until the private certifier has received the acknowledgement from the assessment manager.</p>
	<p>Private certifiers name <input type="text" value="Greg Dempster"/></p> <p>Building certifier reference number <input type="text" value="A461735"/></p> <p>Postal Address <input type="text" value="595 Flinders Street, Townsville QLD 4810."/></p>

COUNCIL OF THE CITY OF THURINGOWA RECEIVED

26 SEP 2006

FILE No. **BAC 1078/06**

PLANNING SERVICES DEPARTMENT

5. Local Government Acknowledgement	<p>Local Government use only</p> <p>The Local Government acknowledges payment of the archiving fee</p>		
<p>This section is optional and to be used by the local government at their discretion.</p> <p>Development Certifications File No. 93882-1</p>	For future enquiries concerning these documents quote this reference	<p style="text-align: right;">Local Government Reference</p> <input style="width: 100%;" type="text" value="BAC 1078/06"/>	
	Archiving Fee	Fee receipt number (if applicable)	
	<input type="text" value="\$ 23.00"/>	<input style="width: 100%;" type="text" value="ACCOUNT"/>	
	Date acknowledgement issued	<input style="width: 100%;" type="text" value="26/09/06"/>	

FAXED

6. Development Information relied on

The development information identified in this section was relied upon in deciding the attached development application.

Item No	Development Information Relied On	Tick if information relied upon..
A – Infrastructure/services information		
A1	Plan of any sewer main or sanitary drain within or adjacent to the property, including approved connection point and any limitations on capacity	
A2	Plan of any water main within or adjacent to the property, including approved connection point and any limitations on capacity	
A3	Plan of any storm water main or drain within or adjacent to the property, including approved connection point and any limitations on capacity	
A4	Plans of any overland flow path within the property	
A5	Details of any required land application area for on-site disposal of sewerage, including any reserve area	
A6	Details of approved swimming pool discharge point	
B – Information specific to property		
B1	Local government easements affecting the land	
B2	Flood level information, including minimum floor levels applicable to the property	
B3	Land-slip area applicable to the property (including mine subsidence)	
B4	Location and nature of any filling that has been placed on the property	
B5	Erosion control requirements applicable to the property	
B6	Acid-sulphate soils contained in the property	
B7	Airport height limitations applicable to the property	
B8	Contaminated soil contained on the property	
B9	Declared bushfire prone areas that affect the property	
B10	Local laws that affect the property	
C - Engineering information		
C1	Design standards/location requirements for vehicle crossings applicable to the land	
C2	Limitations applicable to on-site driveway gradients or locations, for the property	
C3	Drainage problem areas that affect the property	
C4	Levels of proposed road or footway works that affect the property	
D – Existing Building Information		
D1	Existing buildings on the property	
D2	Copies of current Certificates of Classification for the property	
D3	Hydraulic services plans (existing commercial buildings)	

Form 1 Development Application

Common details

PART A

The completion of **all applicable questions** on Part A is **mandatory** for all applications. Part A must be accompanied by the completed IDAS Assessment Checklist required, and by one (1) or more other completed parts of the Form as required. For more information on the parts of the Form refer to www.ipa.qld.gov.au. Any information requested in the form may be provided in an attachment to the application. For further information about completing the following details, refer to **Guide 1**.

Description of land
All land the subject of the application, must be identified. However a description of the land is not required in relation to a mobile or temporary Environmentally Relevant Activity (ERA).
Advice for completing Q2 - Q2 applies if development is proposed within a water body or watercourse.
Advice for completing Q3 - Most land can be identified by a lot on plan description. These details can be obtained from title documents or through the local government.
However, if the land on which the development is proposed does **not** have a lot on plan description (i.e. the development is proposed in a water body or watercourse) provide -
(i) the lot on plan description for the adjoining/adjacent land; or
(ii) GPS coordinates where there is no adjoining/adjacent land (eg. in Moreton Bay).
Advice for completing Q7 - Q7 does **not** apply if the development is proposed within a water body or watercourse.
Advice for completing Q8 - Q8 applies if development is proposed within a local government area.
Note: Areas below high water mark are **not** within a local government's area unless provided for under the *Local Government Act 1993*.
Advice for completing Q9 - Q9 applies if development is proposed on strategic port land or a strategic port land tidal area. For more details refer to **Guide 11**.

Proposal Details
If there is insufficient room available, details may be provided in an attachment to the application.

Other applicable parts of Form 1
Part A must always be accompanied by other completed parts of Form 1.
For information about when a part of Form 1 may apply for an application refer to **Guide 1**.

Applicant details
Clearly identify who is making the application. The applicant need **not** be the owner of the land.
When signing and lodging this application
The applicant is responsible for ensuring the information provided is correct. The assessment manager, any referral agency & the Chief Executive (where applicable) will rely on this information when assessing and deciding the application.
If the applicant is a company
- A contact person must be shown.

1. Street address: (including house number, street name, suburb/locality name & postcode) (if applicable)
43 Samhordern Raod, Rupertswood,
2. Name of water body or watercourse, within which the development is proposed: (if applicable)

3. Lot on plan description (eg. Lot 123 on RP 4567) / GPS coordinates:
lot 48
SP 181227
4. The above description is for: (tick applicable box)
 (i) the land on which the development is proposed, or
 (ii) the land adjoining the water body or watercourse, within which the development is proposed, or
 (iii) the water body or watercourse.
5. Shop / tenancy number: _____ 6. Storey / level _____ 7. Total area of land (m2 of _____
4023m²
8. Local government area in which the land is situated: (eg. Brisbane, Esk, Hervey Bay, Woocoo etc.) (if applicable)
Thuringowa City Council.
9. Port authority for the strategic port land or strategic port land tidal area on which the development is proposed (eg. Port of Brisbane, Port of Townsville) (if applicable)

10. Existing use of the land (eg. vacant, single house, shop etc.)
HOUSE
11. Proposed use of the land: (eg. 6 unit apartment building, 30 lot residential subdivision, ERA for aquaculture in ponds with a total area of 7 ha for which wastes are released into waters etc).
SHED
12. Other parts of Form 1 completed as part of this application: (eg. Part D, Part I, etc)
Part B
13. Applicants name:
Smartbuilt
14. Contact number:
47960700
15. Contact Person:

16. Facsimile number/e-mail address
47552922/
17. Postal Address
21 AUSCAN CRES, GARBUTT, Qld 4814
18. Signature

19. Date
24/08/06.

Land owner's consent (if applicable)
 Section 3.2.1(10)(a) of the IPA prescribes that an application **cannot** be taken to be properly made without the land owner's consent.
 An application **must** be supported by the consent of **all** land owners if the application involves:
 (i) a material change of use;
 (ii) reconfiguration of a lot;
 (iii) work on land below high-water mark & not within a canal as defined under the Coastal Protection and Management Act 1995; or
 (iv) work on rail corridor land defined under the Transport Infrastructure Act 1994.
For a mobile or temporary ERA - landowner's consent is **not** required.
 For more information refer to Guide 1.

20. Land Owners consent to the making of this application.

Name	Signature	Date
(i) Tony Jones		
(ii)		
(iii)		
(iv)		

Resource entitlement (if applicable)
 Section 3.2.1(10)(b) of the IPA prescribes that an application **cannot** be taken to be properly made without evidence of the resource entitlement.
Advice for completing Q22
 Refer to schedule 10 of the Integrated Planning Regulation 1998 that prescribes the nature of evidence required by the State in support of the lodging of this development application.
Advice for completing Q23
 The information in (i) – (v) is mandatory if evidence is required under Q22 (ii) or (iii) above.
 The official stamp of the Department of Natural Resources and Mines is mandatory where the application involves taking or interfering with water or riverine quarry material under the Water Act 2000.

21. Does this application involve taking or interfering with (other than interfering with quarry material on State coastal land under the Coastal Protection and Management Act) a State resource?
 NO - go to Q24 YES - go to Q22

22. This application is required by regulation to be accompanied by: (tick the applicable box)
 (i) evidence of the allocation of, or entitlement to, the resource – attach evidence
 (ii) evidence the chief executive of the department administering the resource is satisfied the development is consistent with an allocation of, or entitlement to, the resource – go to Q 27
 (iii) evidence the chief executive of the department administering the resource is satisfied the development application may proceed in the absence of an allocation of, or entitlement to, the resource – go to Q 23

23. Evidence of the resource entitlement:

(i) Resource entitlement / authority details

(ii) Name of delegated officer

(iii) Position of delegated officer

(iv) Signature of delegated officer

(v) Date

(vi) Official stamp of the department administering the resource (if applicable)

Assessment triggers
 This checklist does **not** apply if the application requires the completion of Parts A and B of the Form **only**. It must be completed for all other applications.

24. This application is required by regulation to be accompanied by: (tick the applicable box)
 YES NO – the assessment manager may refuse to accept this application on the grounds that the application has not been properly made

Plans / drawings / reports
 An application should be accompanied by details to support the proposal & enable the assessment manager, referral agencies and any person viewing the application during public scrutiny or public notification to understand the scope of the proposal and any potential impact.

25. Plans/drawings/reports accompanying this application:

Plan/Drawing/Report Number	Title	Date
(i) Ranbuild - Site Plan Ranbuild Floor Plan & Elevation TOWNS2-3055 Sheets 1-2 Ranbuild RC Slab Plan RSP-3055		
(iii) D&S Engineering SD/O-V57C-ES D&S Engineering SD9.2/O-V57C-ES		
(iv) Nil		
(vi) Nil		
(vii) Nil		
(v) Nil		

PLEASE NOTE

The assessment manager may refuse to accept an application that, at the time of lodgement, fails to provide all applicable information required by Part A and any other relevant part of Form 1.

OFFICE USE ONLY (applicable to assessment manager's)

FEE (\$)	DATE RECEIVED	RECEIVING OFFICER'S NAME/S	REFERENCE NUMBER/S

Form 1 Development Application

idas

Building work

assessable against the Building Act 1975

PART B

Completion of all applicable questions on Part B is **mandatory** for all applications involving assessment against the Building Act 1975 (including for example: assessment of structural elements of the building work).

This application must be accompanied by the plans and other documents prescribed in the Standard Building Regulation 1993.

For further information about completing the following details, refer to **Guide 9 Building work documentation**.

Nature of the building work
This information is required by the Australian Bureau of Statistics (ABS).

- Nature of the work? (tick applicable box/es)

<input type="checkbox"/> New building / structure	<input type="checkbox"/> Alterations / Additions
<input type="checkbox"/> Demolition	<input type="checkbox"/> Removal
- Floor area? (m2)

New: <input type="text" value="80"/>	Existing: <input type="text" value="0"/>
--------------------------------------	--
- Number of Storeys

<input type="text" value="1"/>

Construction Details
This information is required by the Australian Bureau of Statistics (ABS). The numbers in brackets are for use by the ABS only.

- Proposed construction materials: (tick applicable box/es)

External Walls	<input type="checkbox"/> Double Brick (11)	<input type="checkbox"/> Brick Veneer (30)
	<input type="checkbox"/> Stone/Concrete (20)	<input type="checkbox"/> Fibre Cement (30)
	<input type="checkbox"/> Timber (40)	<input type="checkbox"/> Curtain Glass (50)
	<input checked="" type="checkbox"/> Steel (60)	<input type="checkbox"/> Aluminium (70)
	<input type="checkbox"/> Other (80)	
Frame	<input type="checkbox"/> Timber (40)	<input checked="" type="checkbox"/> Steel (60)
	<input type="checkbox"/> Aluminium (70)	<input type="checkbox"/> Other
Floor	<input type="checkbox"/> Timber (40)	<input checked="" type="checkbox"/> Concrete (20)
	<input type="checkbox"/> Other (80)	
Roof covering	<input type="checkbox"/> Tiles (10)	<input type="checkbox"/> Slate/Concrete (20)
	<input type="checkbox"/> Fibre Cement (30)	<input checked="" type="checkbox"/> Steel (60)
	<input type="checkbox"/> Aluminium (70)	<input type="checkbox"/> Other (80)

Estimated Value
This information is required by the Australian Bureau of Statistics (ABS)

- Total dollar (\$) value of the building work (i.e. the total value of including GST, materials and labour)

<input type="text" value="\$23396.00"/>

Identical work (applicable for identical work only)
This information is required by the Australian Bureau of Statistics (ABS). A "dwelling unit" is a self-contained abode of permanent residence (eg. house, flat, unit or townhouse). An apartment building may contain a number of dwelling units.

- What best describes the dwelling type? (tick applicable box/es)
 - Single Detached House
 - Kit House
 - Transportable/relocatable house
 - Semi attached housing (i.e. duplex/dual occupancy)
 - Apartment/unit or flat attached to an existing house
 - Apartment building/unit where units are layered one above another
 - Attached Housing (including row/terrace/townhouse)
- For a proposal involving dwelling units, indicate each of the following: (If applicable)

(a) No. of existing dwelling units	<input type="text"/>
(b) No. of dwelling units to be demolished	<input type="text"/>
(c) No. of new / additional self-contained dwelling units	<input type="text"/>

	<p>8. What is the Building Services Authority (BSA) Insurance Receipt Number</p> <div style="border: 1px solid black; padding: 2px; width: 80%;">1059 4411</div>
<p>Builder's details (if known) If more than one builder, attach details eg builder X for the house and builder Y for the pool.</p>	<p>9. Name (In full): KEITH Smartbuilt</p> <div style="border: 1px solid black; padding: 2px;">Contact details: Phone: 47960700</div> <div style="border: 1px solid black; padding: 2px;">Fax: 47552922</div> <div style="border: 1px solid black; padding: 2px;">Mobile: 0414806200</div> <div style="border: 1px solid black; padding: 2px;">BSA Licence number: 1068118</div> <div style="border: 1px solid black; padding: 2px;">If owner-builder, state owner-builder number:</div> <p>10. Is the project "owner-builder"?</p> <input type="checkbox"/> NO <input type="checkbox"/> YES - provide "owner-builder" number below <div style="border: 1px solid black; height: 15px; width: 80%; margin-top: 5px;"></div>
<p>Owner's details This information is <u>mandatory</u> for applications for single detached class 1a buildings or class 10 buildings or structures. The nominated owner will receive a copy of the decision notice and approved plans.</p>	<p>11. Name (In full): Tony Jones</p> <div style="border: 1px solid black; padding: 2px;">Contact details: 48 Samhordern Road, RUPERTSWOOD QLD 4817</div>
<p>Release of owner's details</p>	<p>12. Does the owner agree to the release of their name & the land address for marketing purposes?</p> <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES
<p>Portable Long Service Leave levy (if applicable) Prior to issuing a development permit for the works, the assessment manager is required by law to "sight" an approved form, issued by QLeave, which signifies that the PLSL levy has been paid.</p>	<p>13. Is payment of a Portable Long Service Leave (PLSL) levy applicable to the proposal?</p> <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES

PLEASE NOTE

This application cannot be accepted unless accompanied by Part A of Form 1.
 The assessment manager can refuse to accept an application that, at the time of lodgement, fails to provide all applicable information required by Part A and any other relevant part of Form 1.

OFFICE USE ONLY (applicable to assessment manager or private certifier)

DATE RECEIVED	REFERENCE NUMBER/S
---------------	--------------------

(i). What is the building classification?

10a residential.

(ii). Is a PLSL levy applicable in this instance? NO YES - complete Q(iii)

(iii). Has the approved form (issued by QLeave and which signifies that the PLSL levy has been paid) been sighted by the assessment manager / private certifier at the time of lodgement of this application?

 NO YES - provide receipt details below

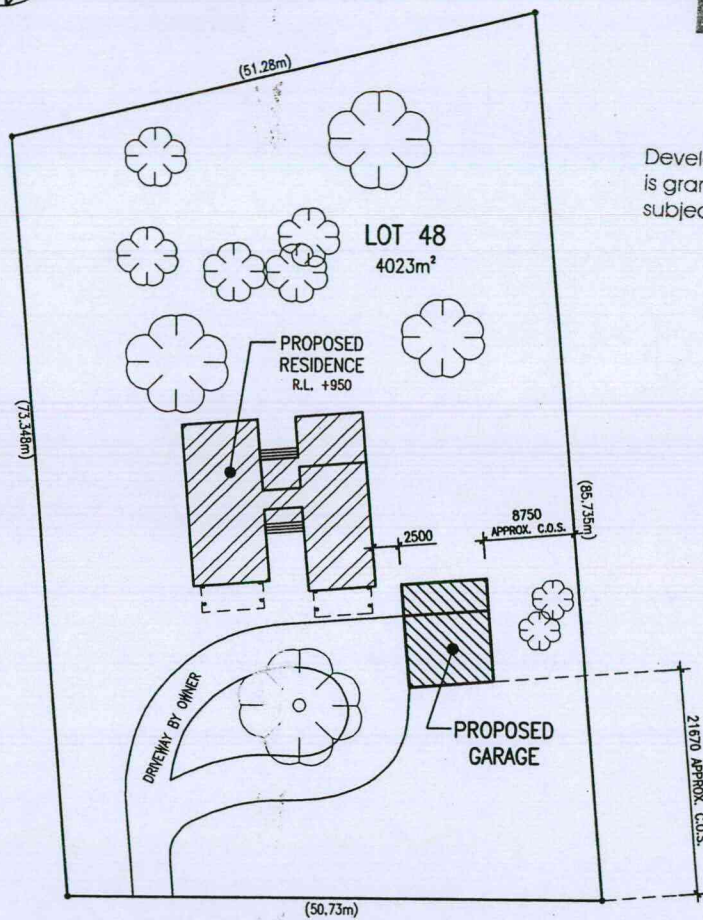


Development Certifications
Building Certifiers and Consultants

Decision Notice N°

9 3 8 8 2

Development Approval for Building Work
is granted pursuant to the Building Act 1975;
subject to conditions on the Decision Notice



Samhordern Road

REVISION	DATE

JOB
**PROPOSED GARAGE AT
LOT 48 SAMHORDERN
ROAD, RUPERTSWOOD**

CLIENT
[Redacted]

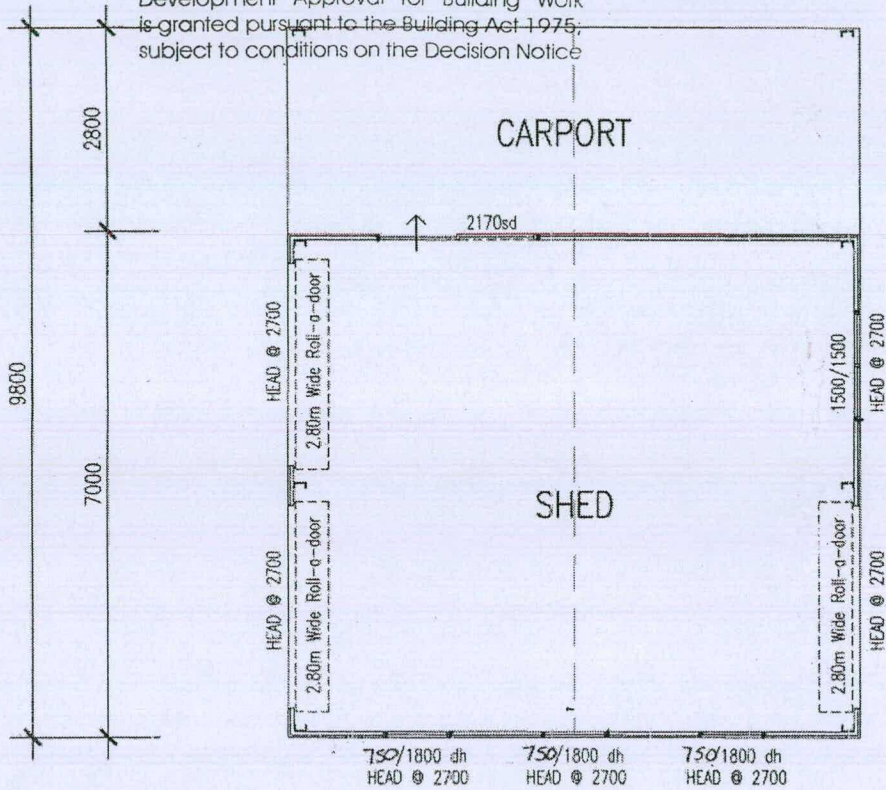
DRAWING TITLE
SITE PLAN

SCALE	1:500	DRAWN BY	KHF
DATE	18/04/2006	DRAWING No.	1 OF 1
		REV.	

Decision Notice N^o

9 3 8 8 2

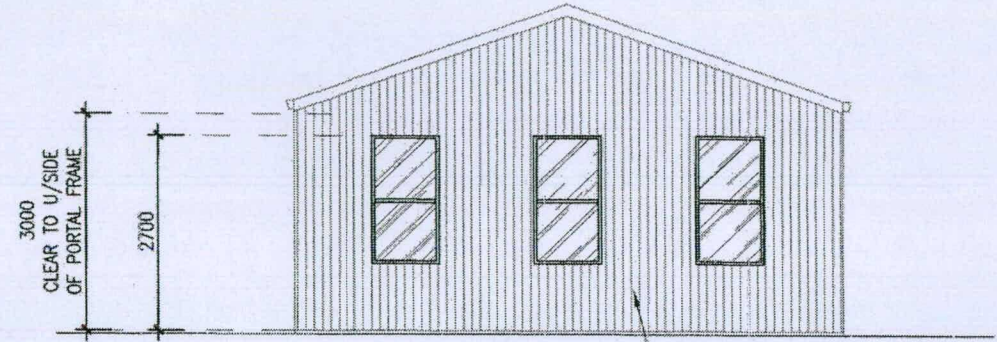
Development Approval for Building Work is granted pursuant to the Building Act 1975, subject to conditions on the Decision Notice



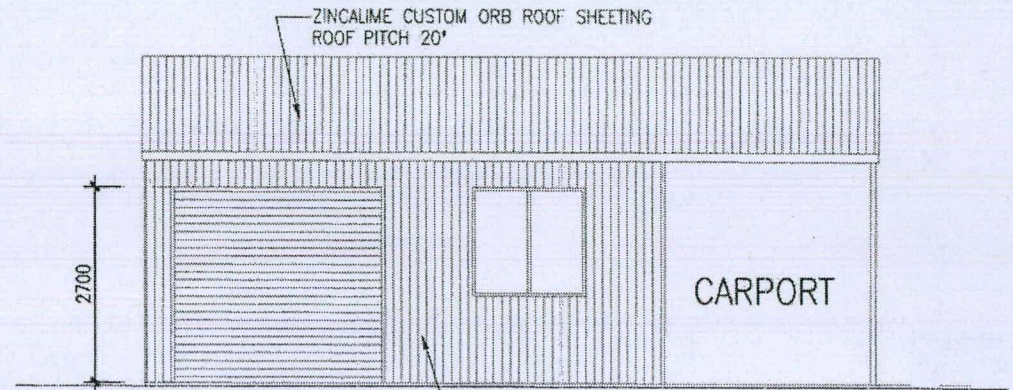
FLOOR PLAN

PROPOSED SHED

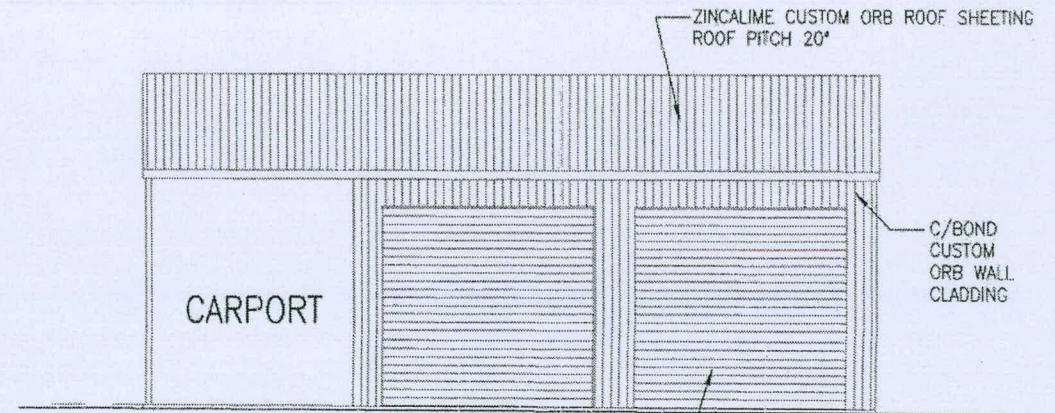
LOT 48 SAMHORDERN ROAD, RUPERTSWOOD
PHONE: 08 9921 8565 EMAIL: kyony@wn.com.au



FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION



RANBUILD

© Copyright 2006

All copyrights reserved

CLADDING

ITEM	PROFILE	FINISH	COLOUR
ROOF	CORRUGATE	ZINCALUME	ZL
WALLS	CORRUGATE	COLORBONT	DU
CORNERS	-	COLORBONT	DU
BARGE	-	COLORBONT	JP
GUTTER	SHEERLINE	COLORBONT	JP
DOWNPIPE	100x75	COLORBONT	DU

ACCESSORY SCHEDULE & LEGEND

QTY	MARK	DESCRIPTION
3	RD1	CSI Rollmasta, R.D, Manual "A", 3000 high x 3 wide C/B
1	KFO1	2100H x 1800W Framed Opening
3	KWO1	600x1800 Window Opening (D)
1	KWO2	600X1500 Window Opening (D)
1		1 SET OF WALL "X" BRACING IS REQUIRED BRACING MAY BE LOCATED IN ANY 1 BAY GRIDS A OR B.

ARCHITECTURAL DRAWING ONLY
NOT FOR CONSTRUCTION USE

WIND DESIGN

CLASS	REGION	TERRAIN	Vp	ENGINEERING
NORMAL	C	ES	57	V57C-ES

SITE
Lot 48 Samhordern Road
RUPERTSWOOD QLD 4817

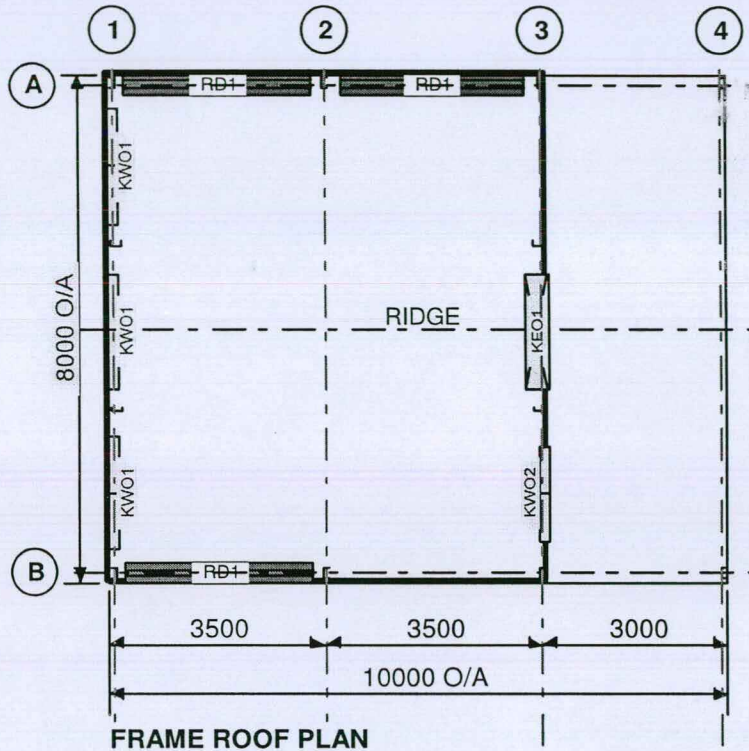
BUILDING
SUNDOWN DELUXE
8000 SPAN x 3000 EAVE x10000 LONG

TITLE
FLOOR PLAN & ELEVATION

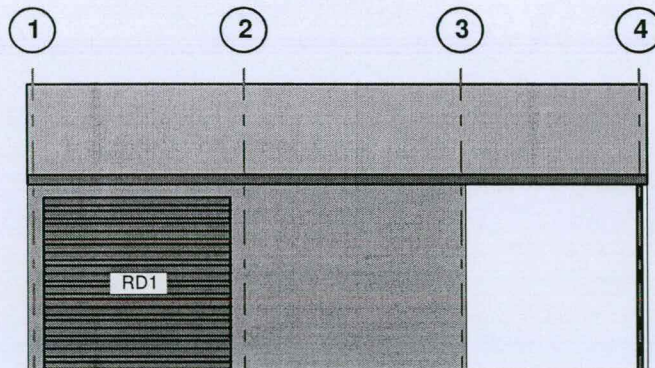
SCALE
A4 SHEET 1:125

DRAWING NUMBER
TOWNS2-3055

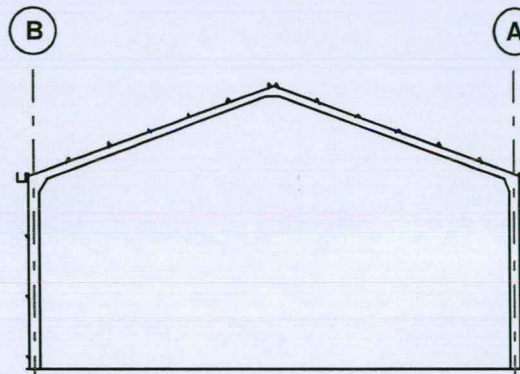
PAGE
1/2



FRAME ROOF PLAN



ELEVATION GRID B



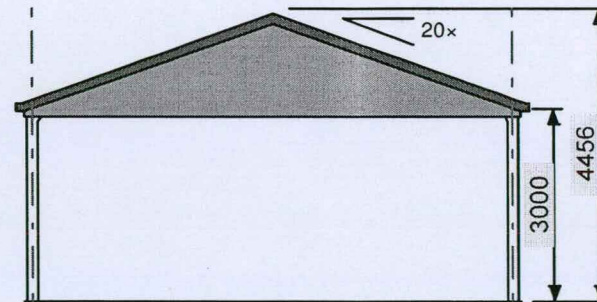
SECTION GRID 2

Development Certifications
Building Certifiers and Consultants

Decision Notice N°

9 3 8 8 2

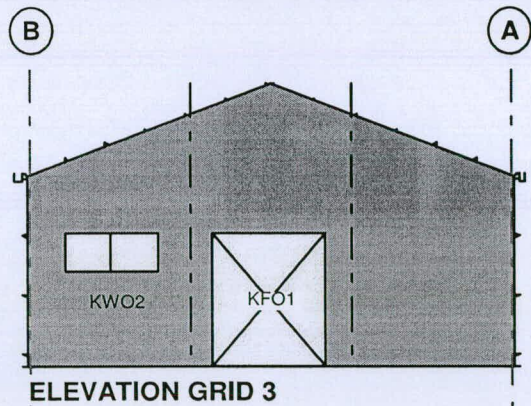
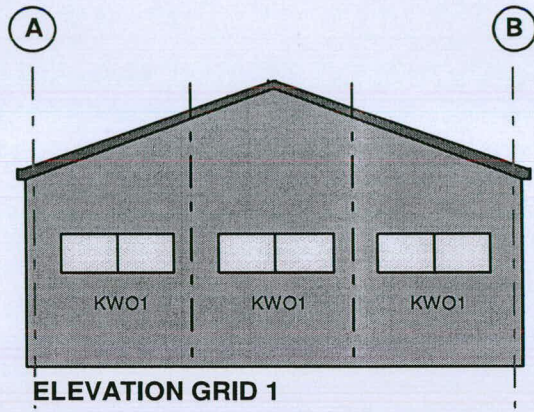
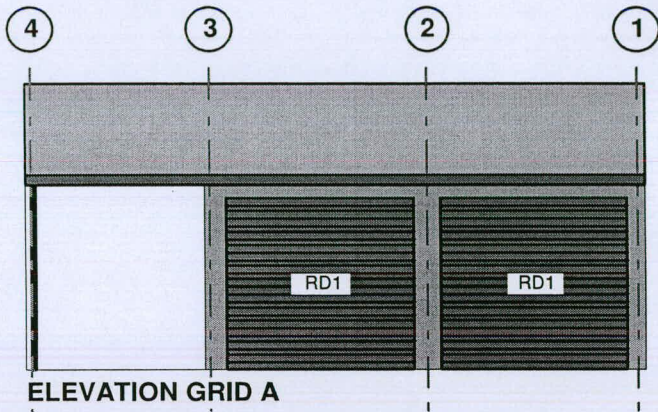
Development Approval for Building Work is granted pursuant to the Building Act 1975; subject to conditions on the Decision Notice



ELEVATION GRID 4

Cont. on page 2

Cont. on page 1



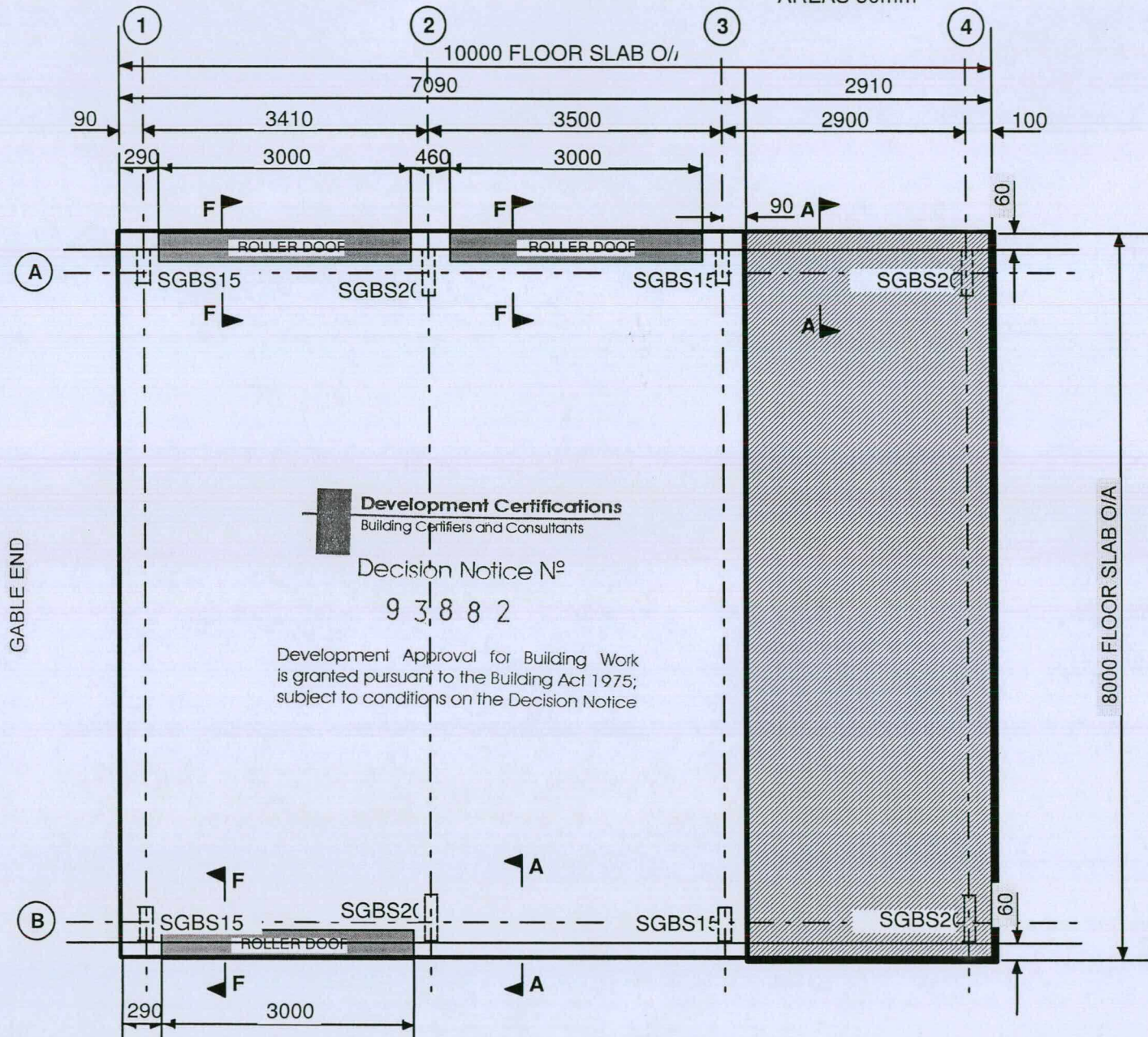
Development Certifications
 Building Certifiers and Consultants

Decision Notice N^o
 9 3 8 8 2

Development Approval for Building Work
 is granted pursuant to the Building Act 1975;
 subject to conditions on the Decision Notice

SCALE A4 SHEET 1:125	
DRAWING NUMBER TOWNS2-305	PAGE 2/2

SET DOWN ALL SHADED
AREAS 50mm



BASE STRAP & HD BOLT SCHEDULE

- 4 REQ'D BASE STRAP SGBS20
- 4 REQ'D BASE STRAP SGBS15

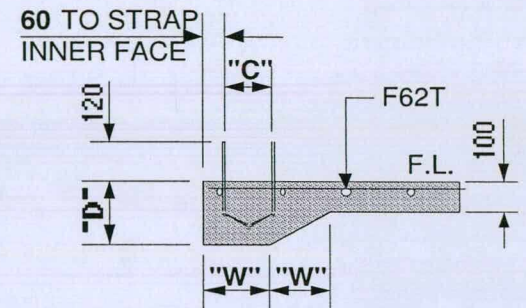
Development Certifications
Building Certifiers and Consultants

Decision Notice N^o
9 3 8 8 2

Development Approval for Building Work
is granted pursuant to the Building Act 1975;
subject to conditions on the Decision Notice

NOTES
SEE ERECTION INSTRUCTIONS FOR SECTION & SLAB DETAILS
SEE RICHARDS ENGINEERS DRG'S SD/O-V57C-ES, SD9.2/O-V57C-ES FOR ADDITIONAL DET'S NOTES & CONCRETE SPECIFICATION

"D" = 300 "W" = 300
"C" = 154 FOR SGBS15
"C" = 205 FOR SGBS20



SECTION A - A
SLAB & BASE STRAP LOCATION



SITE
Lot 48 Samhordern Road
RUPERTSWOOD QLD 4817

BUILDING
SUNDOWN DELUXE
8000 SPAN x 3000 EAVE x10000 LONG

TITLE
RC SLAB PLAN

SCALE NTS	DRAWING NUMBER RSP-3055	PAGE 1/1
--------------	-----------------------------------	--------------------

D & S ENGINEERING PTY LTD A.C.N.091 887 580
CIVIL & STRUCTURAL ENGINEERING CONSULTANTS

40 Valetta Street MANLY QUEENSLAND 4179
Phone: (07) 3396 1812 Facsimile : (07) 3393 4571

30 May 2006

The Manager
RANBUILD
PO Box 170
HAMILTON NSW 2303

Dear Sir

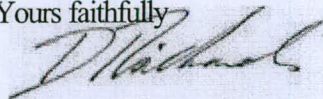
Structural Adequacy of Steel Framed Buildings
Sundown Deluxe Garage Range

Plans: SD "S" /E,O – V41N, V49N, V57C – SS, ES
Where "S" = 3.8, 4.6, 6.1, 7.0, 7.6, 9.2 and 12.24metres
SD/AW – V41N, V49N, V57C, SS, ES
and detailed drawings SD/E,O – V41N, V49N, V57C, - SS, ES

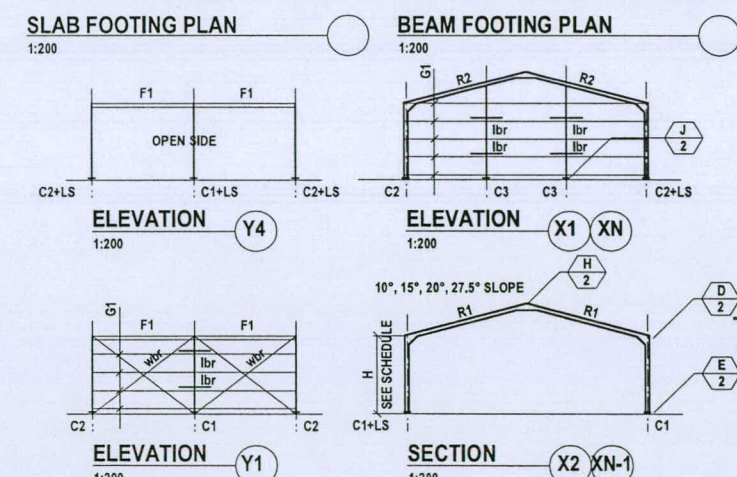
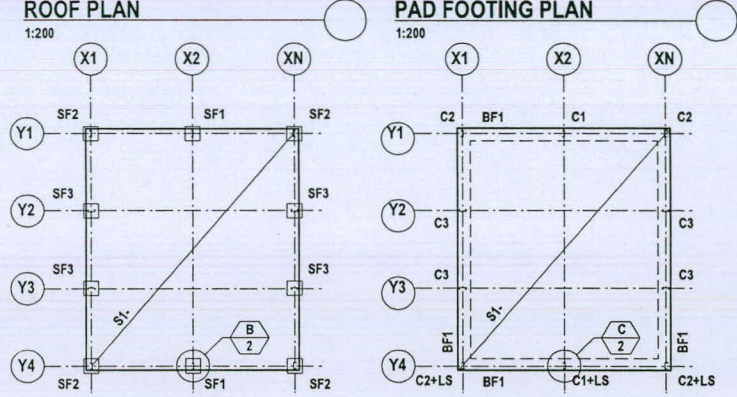
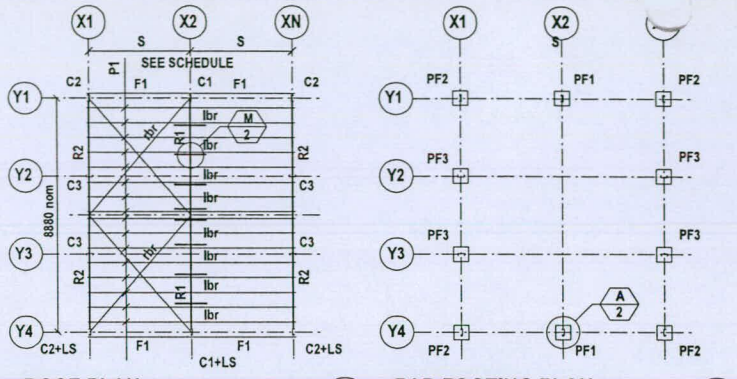
Being the Principal of D & S Engineering Pty Ltd, and a practising structural engineer within the meaning of the Building Code of Australia (A1.1), I have undertaken a structural analysis of the Sundown Deluxe Garage range of buildings as described above. These plans were analysed in accordance with Codes of Practice: AS/NZS1170.1, AS/NZS1170.2, AS4100, AS2870 and AS/NZS4600 together with relevant local government laws and requirements of the Building Code of Australia.

I certify the designs satisfy the requirements and principles of structural civil engineering, are in accordance with the relevant SAA Codes of Practice and will meet serviceability requirements.

Yours faithfully



David Richards BE CPEng
MIE Aust. No. 377860
RPEQ No. 2234
RBP No. EC17786
TAS. CC2774 T



SCHEDULE - STEELFRAME

MARK	DESCRIPTION	EAVES HEIGHT	SIZE	
			S=3500	S=4100
C1	COLUMN - PORTAL	2.8	C20024	C25024
		3.2	C25024	C25024
		3.7	C25024	C25024
C2	COLUMN - CORNER	2.8 - 3.2	C15015	C15015
		3.7	C15019	C15019
		3.7	C15019	C15019
C3	COLUMN - END	2.8	C15012	C15012
		3.2	C15015	C15015
		3.7	C15015	C15015
R1	RAFTER - PORTAL	2.8	C20024	C25024
		3.2	C25024	C25024
		3.7	C25024	C25024
R2	RAFTER - END	2.8 - 3.2	C15015	C15015
		3.7	C15015	C15015
		3.7	C15015	C15015
F1	FASCIA	2.8 - 3.7	0.75 FB	0.75 FB
		2.8 - 3.7	TS6110 @ 735 max	TS6110 @ 525 max
		2.8 - 3.7	TS6110 @ 1240 max	TS6110 @ 840 max
		2.8 - 3.7	TS6110 @ 1240 max	TS6110 @ 840 max
		2.8 - 3.7	30x0.8 str	30x0.8 str
		2.8 - 3.7	30x0.8 str	30x0.8 str
G1	GIRTS - SIDE	2.8 - 3.7	TS6110 @ 1240 max	TS6110 @ 840 max
		2.8 - 3.7	TS6110 @ 1240 max	TS6110 @ 840 max
G2	GIRTS - END	2.8 - 3.7	TS6110 @ 1240 max	TS6110 @ 840 max
		2.8 - 3.7	TS6110 @ 1240 max	TS6110 @ 840 max
rbr	ROOF BRACE	2.8 - 3.7	30x0.8 str	30x0.8 str
wbr (Clad Bay)	WALL BRACE	2.8 - 3.7	30x0.8 str	30x0.8 str
wbr (Open Bay)	WALL BRACE	2.8 - 4.2	R12 ROD	R12 ROD
LS	LATERAL STIFF	2.8 - 3.7	C10015	C10015

SCHEDULE - FOOTINGS

MARK	DESCRIPTION	EAVES HEIGHT	SIZE	
			S=3500	S=4100
PF1	PAD FOOTING	2.4 - 2.7	800x800 ²	850x850 ²
		3.0	800x800 ²	850x850 ²
PF2	PAD FOOTING	2.4 - 2.7	650x650 ²	650x650 ²
		3.0	650x650 ²	650x650 ²
PF3	PAD FOOTING	2.4 - 3.0	400x400 ²	400x400 ²
SF1	SLAB FOOTING	2.4 - 3.0	500x500 ²	600x600 ²
SF2	SLAB FOOTING	2.4 - 3.0	400x400 ²	400x400 ²
		2.4 - 3.0	400x400 ²	400x400 ²
BF1	BEAM FOOTING	2.4 - 2.7	300x300	300x300
S1	SLAB ON GRADE	2.4 - 3.0	100RC SLAB F62T	100RC SLAB F62T
		2.4 - 2.7	1000x1000 ²	1000x1000 ²
PF1	PAD FOOTING	2.4 - 2.7	1050x1050 ²	1050x1050 ²
		3.0	1050x1050 ²	1050x1050 ²
PF2	PAD FOOTING	2.4 - 2.7	800x800 ²	850x850 ²
		3.0	800x800 ²	850x850 ²
PF3	PAD FOOTING	2.4 - 3.0	400x400 ²	400x400 ²
		2.4 - 3.0	400x400 ²	400x400 ²
SF1	SLAB FOOTING	2.4 - 3.0	800x800 ²	900x900 ²
SF2	SLAB FOOTING	2.4 - 3.0	400x400 ²	400x400 ²
SF3	SLAB FOOTING	2.4 - 3.0	400x400 ²	400x400 ²
BF1	BEAM FOOTING	2.4 - 2.7	300x300	300x300
S1	SLAB ON GRADE	2.4 - 3.0	75RC SLAB F62T	75RC SLAB F62T

REFERENCE DRAWING - DETAIL DRAWING SD/O-V57C-ES

CERTIFICATION

THIS DRAWING IS VALID ONLY WHEN ENDORSED BY A SEPARATE DESIGN CERTIFICATE FROM D & S ENGINEERING PTY LTD. THAT IS VALID FOR THE DATE OF ISSUE AND CONSTRUCTION. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH DETAIL DRAWING SD/O-V57C-ES.

GENERAL

- ALL MATERIALS AND WORKMANSHIP TO COMPLY WITH THE RELEVANT SAA CODES AND APPLICABLE BUILDING REGULATIONS
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL OTHER CLIENT'S AND CONSULTANT'S DRAWINGS & SPECIFICATIONS. ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE THESE DRAWINGS. DIMENSIONS MAY VARY FROM THESE STANDARD DRAWINGS. IT IS THE BUILDER'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS. SETTING OUT DIMENSIONS SHALL BE TAKEN FROM THE CLIENT'S DETAIL SHOP DRAWINGS.
- THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION DURING ERECTION AND NO PART SHALL BE OVERSTRESSED. TEMPORARY ROOF AND / OR WALL BRACING MAY BE REQUIRED DURING CONSTRUCTION.

LOADING

- THE STRUCTURAL COMPONENTS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR THE FOLLOWING LOAD CONDITIONS:-

ROOF DEAD LOAD	SELF WEIGHT ONLY
ROOF LIVE LOAD	0.25kPa or 1.4kN
WIND LOAD REGION	C
BASIC WIND SPEED Vp	57 m/s
LOCATION	EXPOSED SUBURBAN *
DOMINANT OPENING	Cpl = -0.65 or +0.7
GROUND SNOW LOAD Sg	1.70 kPa

* SUBURBAN TERRAIN REFERS TO URBAN AREAS 500m FROM THE EDGE OF RURAL AREAS. EXPOSED SUBURBAN REFERS TO URBAN FRINGE AREAS WHERE THE AVERAGE DENSITY OF SIMILAR HEIGHT BUILDINGS IS LESS THAN 2.5 BUILDINGS PER HECTARE.

STRUCTURAL STEEL

- ALL STEELWORK TO COMPLY WITH AS 4100 STEEL STRUCTURES CODE AND AS/NZS 4600 COLD-FORMED STEEL STRUCTURES CODE.
- ALL STEEL FRAMING SHALL BE MANUFACTURED FROM HI-TENSILE HOT DIP ZINC COATED STEEL (G450 - G550) CONFORMING TO AS1397 u.n.o. AND INSTALLED TO MANUFACTURER'S INSTRUCTIONS.
- ALL BOLTS SHALL BE M12 8.8 / S u.n.o.
- ALL TEK SCREWS SHALL BE No12 - 14x20 u.n.o.

FOUNDATIONS

- NO GEOTECHNICAL SITE INVESTIGATION IS PROVIDED. TWO STANDARD DESIGN OPTIONS ARE OFFERED:-
- STIFF CLAY CONFORMING TO AS2870 SITE CLASSIFICATION CLASS M. MINIMUM SAFE BEARING CAPACITY 100kPa. SHAFT ADHESION 15kPa.
- DENSE SAND CONFORMING TO AS 2870 SITE CLASSIFICATION CLASS A / S. MINIMUM SAFE BEARING CAPACITY 100kPa.
- IF DIFFERENT SITE CONDITIONS ARE ENCOUNTERED A DIFFERENT FOOTING DESIGN MAY BE REQUIRED.
- ALL VARIATIONS REQUIRE ADDITIONAL CERTIFIED DOCUMENTATION FROM A CONSULTING STRUCTURAL ENGINEER WHO ASSUMES FULL RESPONSIBILITY FOR THE DESIGN.

FOOTINGS AND SLABS

- STRIP AND REMOVE ALL TOPSOIL FROM THE SITE.
- ALL FOOTINGS TO BE FOUNDED ON NATURAL GROUND. NO FOOTINGS TO BE FOUNDED ON FILL MATERIAL.
- FLOOR SLABS TO BE PLACED ON 50mm CONSOLIDATED CLEAN SAND LEVELLING BED. SLABS MAY BE PLACED ON 300mm MAXIMUM APPROVED GRANULAR FILL COMPACTED TO 98 % STANDARD COMPACTION.

CONCRETE

- ALL CONCRETE WORK TO BE IN ACCORDANCE WITH AS3600 CONCRETE STRENGTH Fc TO BE 20MPa MINIMUM FOR FOOTINGS & FLOOR SLABS.
- CONCRETE TO HAVE SHRINKAGE LIMITED TYPE SL CEMENT, 20mm MAXIMUM AGGREGATE SIZE AND 80mm SLUMP.
- FLOOR SLABS TO BE CURED FOR 7 DAYS AFTER PLACEMENT BY MAINTAINING A CONTINUOUSLY WET SURFACE BY APPROVED METHODS.
- PROVIDE TOOLED OR CUT CONTROL JOINTS IN FLOOR SLABS ON GRIDLINES AS INDICATED.

CLADDING

- ALL ROOF AND WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH AS1562 AND THE MANUFACTURER'S INSTRUCTIONS.

Development Approval for Building Work is granted pursuant to the Building Act 1975

D & S ENGINEERING PTY LTD

CONSULTANT CIVIL ENGINEER
40 Valetta Street Ph: 07 3396 1812
MANLY QLD 4179 Fax: 073393 4571

D & S ENGINEERING PTY LTD, BEING CONSULTING STRUCTURAL ENGINEERS WITHIN THE MEANING OF THE BUILDING CODE OF AUSTRALIA, CERTIFY THAT WE HAVE CARRIED OUT A STRUCTURAL ANALYSIS FOR THE BUILDINGS DETAILED ON THIS DRAWING. THE STRUCTURAL ANALYSIS HAS BEEN CARRIED OUT IN ACCORDANCE WITH THE RELEVANT SAA CODES AND IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE AND PRINCIPLES, May 2006

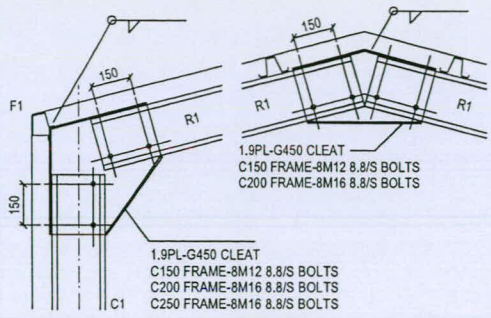
David Richards T.AS: CC2774 T, CPEng, RPEQ 2234, RBP EC-17786. D & S ENGINEERING PTY LTD

DRAWING **SUNDOWN DELUXE GARAGE**
SD9.2 - OPEN SIDED
REGION C - EXPOSED SUBURBAN AREA

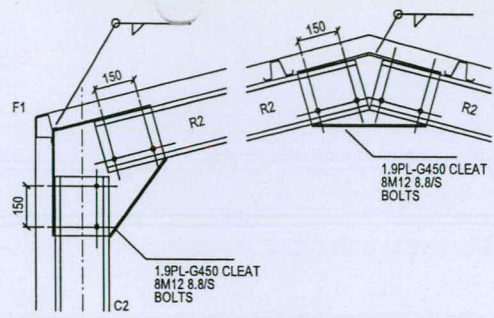
DRAWING NUMBER **SD9.2/O-V57C-ES**

LYSAGHT BUILDING SOLUTIONS PTY LTD
trading as **RANBUILD**
Copyright 2005

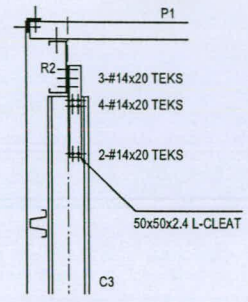
DATE	REVISION
25-05-06	Engineering Upgrade



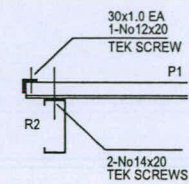
DETAIL D
1:20 C1,R1,KNEE CONN



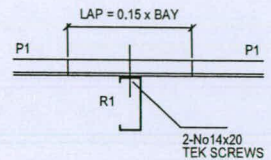
DETAIL F
1:20 C2,R2,KNEE CONN



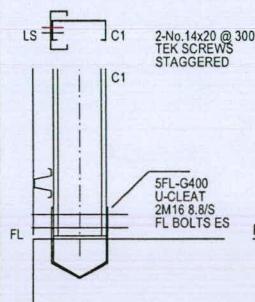
DETAIL I
1:20 C3,R2



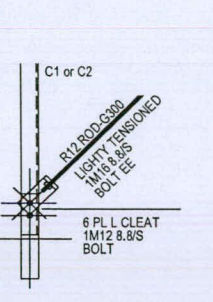
DETAIL P1,R2
1:20 P1,R2



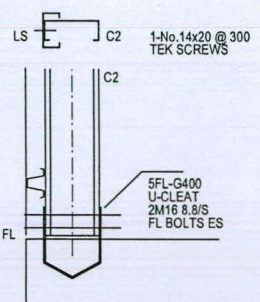
DETAIL P1,R1
1:20 P1,R1



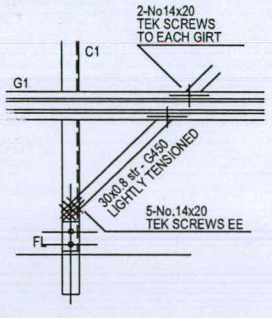
DETAIL E
1:20 C1 BASE



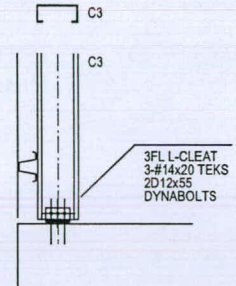
DETAIL H
1:20 R1,R1,APEX CONN



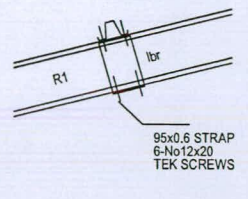
DETAIL G
1:20 C2 BASE



DETAIL J
1:20 C3 BASE

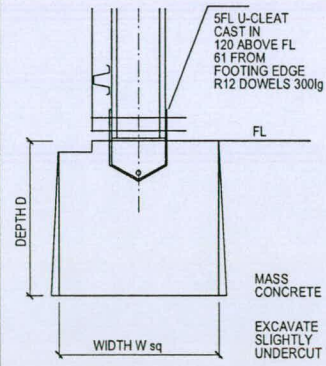


DETAIL M
1:20 R1,P1,br C1,G1,ibr SIMILAR

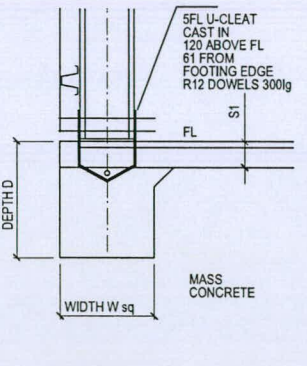


DETAIL N
1:20 R1,P1,br C1,G1,ibr SIMILAR

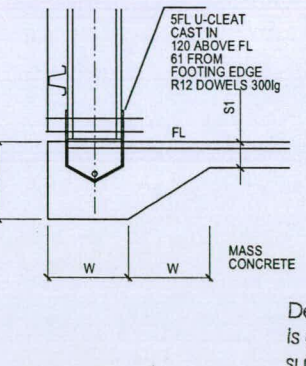
15° ROOF SLOPE SHOWN
10°, 20°, 27.5° SIMILAR



DETAIL A
1:20 PAD FOOTING PF1-PF3



DETAIL B
1:20 SLAB FOOTING SF1-SF3



DETAIL C
1:20 BEAM FOOTING BF1

SLAB THICKNESS SEE SCHEDULE

AS REQ. SEE SCHEDULE

@ COVER

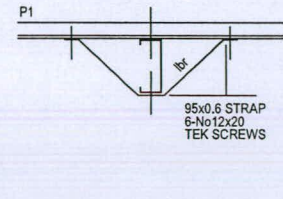
30x6 TOOLED JOINT PLASTIC FILLER

Development Certifications
Building Certifiers and Consultants

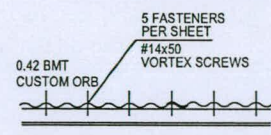
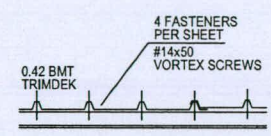
Decision Notice No
93802

Development Approval for Building Work is granted pursuant to the Building Act 1975; subject to conditions on the Decision Notice

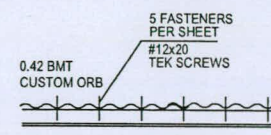
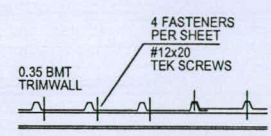
DETAIL S1/CONTROL JOINT A
1:20 S1/CONTROL JOINT A



DETAIL P1
1:20 P1



DETAIL P1
1:25 ROOF CLADDING SHEAR DIAPHRAGM



DETAIL P1
1:25 WALL CLADDING SHEAR DIAPHRAGM



LYSAGHT BUILDING SOLUTIONS PTY LTD
trading as
RANBUILD
Copyright 2005

DATE	REVISION

D & S ENGINEERING PTY LTD
CONSULTANT CIVIL ENGINEER
40 Valetta Street Ph: 07 3396 1812
MANLY QLD 4179 Fax: 073393 4571

WE, D & S ENGINEERING PTY LTD, BEING CONSULTING STRUCTURAL ENGINEERS WITHIN THE MEANING OF THE BUILDING CODE OF AUSTRALIA, CERTIFY THAT WE HAVE CARRIED OUT A STRUCTURAL ANALYSIS FOR THE BUILDINGS DETAILED ON THIS DRAWING. THE STRUCTURAL ANALYSIS HAS BEEN CARRIED OUT IN ACCORDANCE WITH THE RELEVANT SAA CODES AND IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE AND PRINCIPLES. May 2006

David Richards
David Richards T.A.S.: CC2774 T.
CP'Eng, RPEQ 2234, RBP EC-17786.
D & S ENGINEERING PTY LTD

DRAWING
SUNDOWN DELUXE GARAGE
OPEN SIDED
REGION C - EXPOSED SUBURBAN AREA

DRAWING NUMBER
SD/O-V57C-ES