

Our Reference: NP24.257.01
MM

14 August 2026

Assessment Manager
Townsville City Council
PO Box 1268
TOWNSVILLE QLD 4810

Attention: Planning and Development

Dear Sir/Madam,

**Application for Material Change of Use – Multiple Dwelling (30 Units)
12-14 Waverley Lane and part of 237-239 Riverside Boulevard, Douglas, formally identified
as Lot 999 on SP159422 and Access Easement B on SP159422 in Lot CP on SP159422**

On behalf of the applicant, Opulence Builders Group, please accept this correspondence and the accompanying planning report as a properly made development application in accordance with the *Planning Act 2016*.

The application seeks a Development Permit for Material Change of Use – Multiple Dwelling on land situated at 12-14 Waverley Lane and part of 237-239 Riverside Boulevard, Douglas, formally identified as Lot 999 on SP159422 and Access Easement B on SP159422 in Lot CP on SP159422.

We request Council confirm the assessment fee for the application in accordance with Council's schedule of fees and charges. Payment will be issued on receipt of lodgement.

Please do not hesitate to contact the undersigned should you have any queries in relation to this application.

Yours faithfully,



Mary McCarthy

SENIOR PLANNER
Northpoint Planning

Encl. Development Application

Development Application

Material Change of Use – Multiple Dwelling (30 Units)



Northpoint
Planning

12-14 Waverley Lane, Douglas & part of
237-239 Riverside Boulevard, Douglas
Lot 999 on SP159422 and Access
Easement B on SP159422 in
Lot CP on SP159422
14 August 2025
Reference: NP24.257.01

Client: Opulence Builders Group

Project: 12-14 Waverley Place & 237-239 Riverside Boulevard, Douglas

Date: 14 August 2026

Project Reference: NP25.257.01

Contact: Mary McCarthy

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Approval			
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Table of Contents

1.0	EXECUTIVE SUMMARY	4
2.0	SITE AND SURROUNDING ENVIRONMENT	6
2.1.	SUBJECT SITE AND SURROUNDS	6
3.0	PROPOSED DEVELOPMENT	8
3.1.	GENERAL OVERVIEW	8
3.2.	PROPOSAL PLANS	11
3.3.	USE DEFINITION	12
3.4.	ACCESS AND PARKING	12
3.5.	INFRASTRUCTURE SERVICES	12
3.6.	STORMWATER DRAINAGE	13
3.7.	LANDSCAPING	13
3.8.	PREVIOUS PLANNING ASSESSMENT	14
3.9.	SURROUNDING LOCALITY USE AND ZONING	14
4.0	LEGISLATIVE FRAMEWORK	16
4.1.	STATE PLANNING POLICY	16
4.2.	NORTH QUEENSLAND REGIONAL PLAN	16
4.3.	STATE DEVELOPMENT AND ASSESSMENT PROVISIONS	16
4.4.	ERGON REFERRAL	16
4.5.	LOCAL PLANNING INSTRUMENT	16
4.6.	ASSESSMENT BENCHMARKS	16
5.0	PLANNING ASSESSMENT	18
5.1.	STRATEGIC FRAMEWORK	18
5.2.	OPEN SPACE ZONE CODE	18
5.3.	LOW DENSITY RESIDENTIAL ZONE CODE	19
5.4.	MEDIUM DENSITY RESIDENTIAL ZONE CODE	22
5.5.	HEALTHY WATERS CODE	22
5.6.	LANDSCAPE CODE	22
5.7.	TRANSPORT IMPACT, ACCESS AND PARKING CODE	23
5.8.	WORKS CODE	24
5.9.	AIRPORT ENVIRONS OVERLAY CODE	24
5.10.	BUSHFIRE HAZARD OVERLAY CODE	25
5.11.	FLOOD HAZARD OVERLAY CODE	25
5.12.	NATURAL ASSETS OVERLAY CODE	25
6.0	OTHER RELEVANT MATTERS	27
7.0	CONCLUSION AND RECOMMENDATIONS	28



Appendices

Appendix 1:	DA Form 1, Title search, Easement document and Landowner's Consent
Appendix 2:	SmartMap and SARA Mapping
Appendix 3:	Subject Site and Surrounds
Appendix 4:	Development Plans
Appendix 5:	Traffic and Transport Assessment
Appendix 6:	Water Supply and Sewerage Planning Report
Appendix 7:	Site Based Stormwater Management Plan
Appendix 8:	Approved Plans (TCC Ref: MCU25/0006)
Appendix 9:	Medium Density Residential Zone Code

Tables

Table 1:	Application Summary
Table 2:	Easements and Encumbrances
Table 3:	Development Plans
Table 4:	Proposed Parking Rate

Figures

Figure 1:	Site Location
Figure 2:	Proposed Site Layout at Ground Floor
Figure 3:	Proposed Building B – Northern Elevation to the Ross River
Figure 4:	Proposed Building B – Eastern Elevation to Teak Place
Figure 5:	Proposed Building C – Western Elevation to Open Space area
Figure 6:	Townsville City Plan Zone Mapping
Figure 7:	Existing Use Analysis of Surrounding Locality



1.0 Executive Summary

In accordance with s 51 of the *Planning Act 2016* (the Act) this development application seeks a development permit for Material Change of Use – Multiple Dwelling (30 units).

The subject site is located at 12-14 Waverley Lane, Douglas (Lot 999 on SP159422) and within part of 237-239 Riverside Boulevard, Douglas, specifically within Access Easement B on SP159422 in Lot CP on SP159422.

The subject site, being described as Lot 999 on SP159422 for the purpose of this application, is currently vacant land and has historically remained undeveloped. We note the subject site has previously been cleared of any significant vegetation to facilitate future development.

The proposed development involves the construction of 2 accommodation buildings comprising a total of 30 self-contained units and shared recreational facilities over Lot 999 on SP159422. Specifically, the development comprises 18 x 2-bedroom units and 12 x 3-bedroom units across 2 detached buildings. Vehicle parking is provided to the understorey of all accommodation buildings, with outdoor visitor/overflow parking and shared pool and outdoor recreational area. Vehicular access is provided to the proposed development via an existing two-way crossover to Waverley Lane frontage to the south-east, included within existing access Easement B on SP159422 included in Lot CP on SP159422. Lot CP159422 forms the common property for the adjoining multiple dwelling and commercial premises.

Importantly, Council previously approved a Material Change of Use – Multiple Dwelling (34 Units) over the site on 10 December 2025 (TCC Reference MCU25/0006). The current proposal represents a reduced development yield of 30 units and provides increased on-site car parking compared with the approved development. The proposal retains key elements of the previously approved development, namely Blocks B and C and on-site recreational areas, while removing the previously approved Block A.

Given the reduced development yield and retention of key elements of the approved development, relevant technical reports prepared in support of MCU25/0006 have been relied upon where applicable to the current proposal. These assessments demonstrate that the site can appropriately accommodate and service a development of greater density than that currently proposed.

The proposed development involves 2 x 4-storey structures, with landscaping and articulation of the façades providing a positive contribution to the amenity of the streetscape and surrounding locality.

The subject site is located within the Open space zone of the planning scheme, and therefore the proposed development requires impact assessment. Given the proposed development adjoins development uses of a nature comparable to both Low and Medium density residential development, assessment against both the Low and Medium density residential zone codes have been addressed in this application for completeness.

Assessment of the proposed development against the provisions of all relevant benchmarks has been undertaken and outlined in this town planning report. As outlined in this town planning report, the proposed development achieves the nominated assessment criteria.

The proposed development is considered appropriate for the location, and it is therefore requested that the application be approved subject to reasonable and relevant conditions.



Table 1: Application Summary

Application Summary	
Address	12-14 Waverley Lane, Douglas 237-239 Riverside Boulevard, Douglas
Real Property Description	- Lot 999 on SP159422 - Lot CP SP177536
Easements	- Easement B on SP159422 in Lot CP on SP159422 – Access Purposes - Easement D on SP169641 in Lot 0 on SP177536 - Ergon
Area of Lot	- Lot 999 on SP159422: 3,869m² - Easement B on SP159422 in Lot CP on SP159422: 51m²
Applicant	Opulence Builders Group
Purpose of Proposal	Multiple dwelling – 30 units
Type of Application	Material Change of Use
Category of Assessment	Impact
Overlays	- Airport environs overlay - Bushfire hazard overlay - Flood hazard overlay - Natural assets overlay
SARA Mapping	Native vegetation clearing – regulated vegetation management map (category B extract)
Referral Agencies	Ergon
Public Notification	Required



2.0 Site and Surrounding Environment

2.1. Subject Site and Surrounds

The subject site is located at 12-14 Waverley Lane, Douglas comprising an area of 3,869m², and is formally identified as Lot 999 on SP159422. The site is currently vacant land that has historically remained undeveloped. We note the site has recently been cleared. The subject site comprises dual road frontage, with Waverley Lane to the south-east corner and the cul-de-sac of Teak Place to the north-east corner.

Proposed access is to be partially included within the existing access easement within Easement B on SP159422 in adjoining allotment Lot CP on SP177536, with access to Easement B gained via Waverley Lane road frontage.

The Certificate of Title for Lot CP on SP177536 confirms that the site is encumbered by two easements as illustrated in Table 2 below.

Table 2 – Easements and Encumbrances

Easement	Purpose	Encumbrances
Easement B on SP159422 in Lot 0 on SP159422	Access	- Benefiting Lot 999 on SP159422 - Burdening Lot 0 on SP177536
Easement D on SP169641 in Lot 0 on SP177536	Ergon	- Benefiting Lot 999 on SP159422 - Burdening Lot 0 on SP177536

The topography of the subject site slopes down from the Waverley Lane frontage to the north toward Ross River. Specifically, the site involves mapped contours of approximately RL 17.1m AHD (Australian Height Datum) at the south-east corner to RL12.0m AHD at the north-western corner, with a gradient of approximately 8% (1:12).

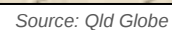
The immediate surrounding locality includes a mix of residential development comprising detached dwelling houses, multiple dwellings and non-residential uses. Centre zones are located in close proximity, approximately 60m to the south and east. Further, the site adjoins the Ross River to the north, inclusive of established parkways and parkland bordering the river.

The wider locality includes James Cook University to the south-east and Townsville University Hospital to the east.

The subject site is located within the Open space zone of the planning scheme.

The subject site is not affected by the defined flood level.

The subject lot and surrounding locality are illustrated in Figure 1 overleaf.





3.0 Proposed Development

3.1. General Overview

The proposed development involves the construction of a multi-storey unit development, comprising 2 x 4-storey accommodation buildings, being Block B and Block C, and shared recreational facilities including a pool, gazebo and shared toilet facilities. Overall, the development provides for 30 self-contained units, varying in size between 2 and 3 bedroom units. Each unit is appropriately provisioned with private balcony space and nominated covered parking.

Specifically, the proposed development involves the following:

- Block B –located to the northern side of the site, comprising 15 units.
- Block C – located to the western side of the allotment, comprising 15 units.

Each building comprises:

- 15 self-contained units, consisting 6 x 3 bedroom units and 9 x 2 bedroom units.
- A building footprint of approximately 479m².
- 4-storeys, including understorey and car parking at ground level.
- Lift and stair access between the ground floor and upper levels.
- Private balconies to all units.

General:

- Vehicle access is provided from Waverley Lane via the existing two-way crossover and access easement (Easement B on SP159422 within Lot 0 on SP177536).
- An internal driveway extends centrally through the site and provides access to the on-site parking areas.
- A total of 70 standard vehicle carparks on site and 1 nominated motorbike parking space, comprising:
 - o 46 x covered carparking spaces to the understorey of buildings, including:
 - 21 carparks within Block B;
 - 22 carparks within Block C; and
 - 3 covered car parking spaces within roofed carports.
 - o 24 x uncovered shared car parking spaces for overflow and visitor parking.
 - o 1 x motorbike parking space.
- Secure bicycle parking facility accommodating 12 bicycle parking spaces within an enclosed facility to the façade of Block C.
- Dedicated wash bay parking space located to the western side of the open communal space.
- Provision of landscaped area within the site, specifically involving:
 - o 3m landscaping strip to the full extent of the Waverley Lane frontage, excluding proposed crossover.
 - o Hard and soft landscaping strip to the full extent of the eastern side boundary bordering Teak Place including provision on an internal pedestrian pathway.
 - o Landscaping provisioned to all uncovered parking areas.
- Shared recreational area involving a pool, gazebo, BBQs and ablution block, located within the eastern corner of the site, towards the Waverley Lane frontage.



- Screened bulk waste storage area provided to the front of the development.
- Maintenance of all existing approved setbacks of Buildings B and C in accordance with TCC Reference: MCU25/0006.

The proposed development is illustrated in Figure 2 - 5 below and overleaf.

Figure 2: Proposed Site Layout at Ground Floor

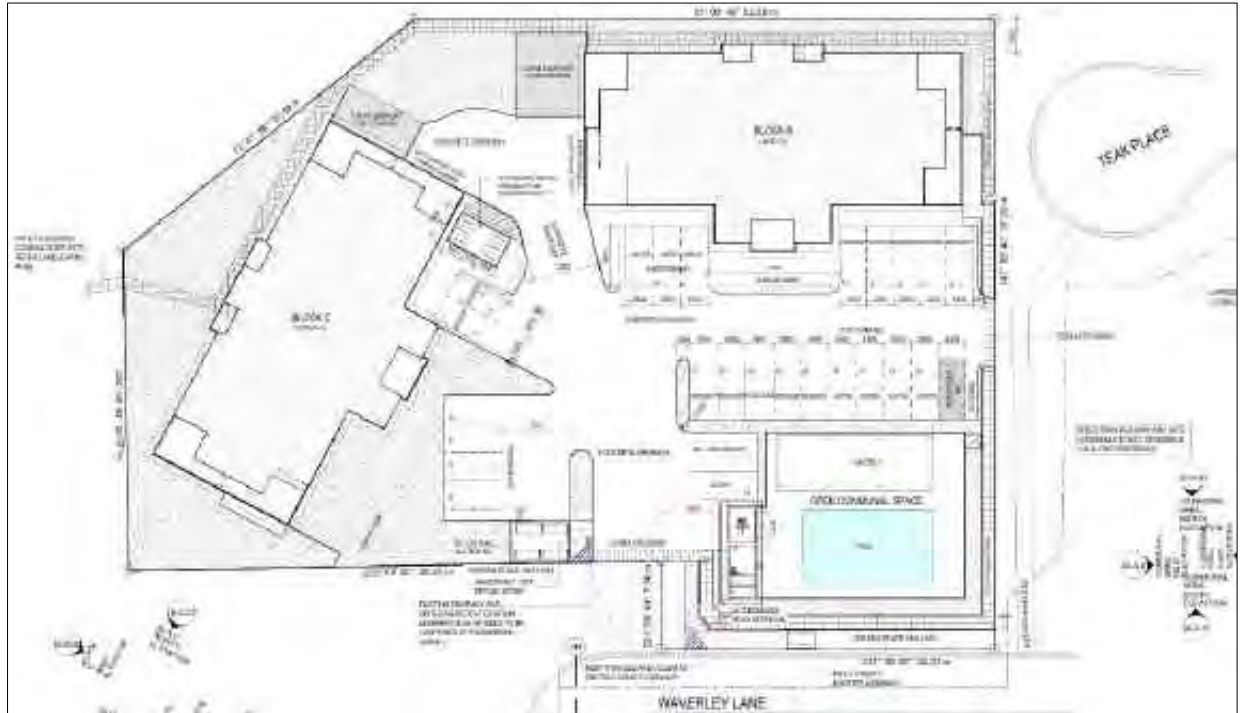


Figure 3: Proposed Building B – Northern Elevation to the Ross River





3.2. Proposal Plans

The proposed development is illustrated in the development plans listed below in Table 3, prepared by The Design House (refer **Appendix 4**).

Additionally, the proposed development is further detailed in the associated reports listed below and appended as referenced.

Table 3 – Development Plans

Plan title	Number	Issue	Date
COVER PAGE	DD 01	15	30.07.26
SITE PLAN – PROPOSED	DD 02	15	30.07.26
COMMUNAL OPEN SPACE	DD 03	15	30.07.26
BCK B - FLOOR PLAN GROUND LEVEL	DD 04-B-01	15	30.07.26
CK B - FLOOR PLAN- LEVEL 1	DD 04-B-02	15	30.07.26
BCK B - FLOOR PLAN- LEVEL 2	DD 04-B-03	15	30.07.26
BCK B - FLOOR PLAN LEVEL 3	DD 04-B-04	15	30.07.26
BLK C - FLOOR PLAN GROUND LEVEL	DD 04-C-01	15	30.07.26
BLK C - FLOOR PLAN LEVEL 01	DD 04-C-02	15	30.07.26
BLK C - FLOOR PLAN LEVEL 02	DD 04-C-03	15	30.07.26
BLK C - FLOOR PLAN LEVEL 03	DD 04-C-04	15	30.07.26
ELEVATIONS COMMUNAL AREA	DD 05-A-01	15	30.07.26
ELEVATIONS - BLK B	DD 05-B-01	15	30.07.26
ELEVATIONS - BLK B	DD 05-B-02	15	30.07.26
ELEVATIONS - BLK C	DD 05-C-01	15	30.07.26
ELEVATIONS - BLK C	DD 05-C-02	15	30.07.26
Landscape Concept Plan - Site Plan	LCP-OPL 006/01/A	A	October 2025
Landscape Concept Plan – Sheet 2 of 4	LCP-OPL 006/02/A	A	October 2025
Landscape Concept Plan – Sheet 3 of 4	LCP-OPL 006/03/A	A	October 2025
Landscape Concept Plan – Sheet 4 of 4	LCP-OPL 006/04/A	A	October 2025
Associated Reports			
Water Supply and Sewerage Planning Report prepared by DPM Water, Rev A, dated 26 March 2025			
Site Based Stormwater Management Plan prepared by STP Consultants, Rev B, dated 22 June 2025			
Traffic and Transport Assessment prepared by Geleon, 50969-RP01-B, dated 1 October 2025			



3.3. Use Definition

In accordance with schedule 1 of the planning scheme, the use is defined as a Multiple Dwelling. A Multiple Dwelling is defined as *premises containing three or more dwellings for separate households*.

3.4. Access and Parking

The proposed development is provided access via one crossover to Waverley Lane from the south-east. The proposed crossover involves a 6m width, and accommodates ingress and egress traffic to Waverley Lane, noting Waverley Lane operates as a one-way laneway.

An internal sealed driveway traverses centrally through the site to provide access to the understorey parking of each accommodation building and uncovered overflow/visitor parking.

In accordance with schedule 6.10 of the planning scheme, the required parking rates for a Multiple dwelling within the Open space zone is:

- 1.7 spaces per dwelling;
- 0.2 spaces per dwelling for visitors; and
- 1 x vehicle wash bay per development.

Accordingly, the prescribed parking requirements for the development are 60 car parking spaces and 1 vehicle wash bay for the proposed development. The proposed development provisions on-site parking rates in excess of Council's nominated standards, specifically, the proposed parking rate associated with the development is demonstrated within Table 4 below.

Table 4: Proposed Parking Rate

Description	Proposed parking rate
Accommodation Block B (Unit 5-19)	21
Accommodation Block C (Unit 20-34)	22
Overflow/visitor carparking	27 + 1 motorcycle parking space
Wash bay	1
Bicycle	12
Total	70 car parking spaces + 1 motorcycle parking space

The proposal provides in excess of Council's standard parking rate for a development of the proposed nature, mitigating potential adverse impact to the local traffic network. Refer **Appendix 5** for the Traffic Impact Assessment (TIA) prepared by Geleon in relation to previously approved development on the site. Note the proposed development involves a reduction in scale of the previously approved development, and the proposal is considered consistent with the TIA provided.

3.5. Infrastructure Services

The subject site is currently undeveloped and is not connected to Council's reticulated water and wastewater networks. However, the site is located within an established urban area with access to existing water and sewer infrastructure.

A Water Supply and Sewerage Planning Report, prepared by DPM Water as part of the previous planning application (TCC Reference: MCU25/0006), is provided at **Appendix 6**. The assessment confirms that:

- The existing water network has sufficient capacity to service the water demands and fire flows for the site.



- The existing gravity sewer system, including the DN300 trunk sewer along Riverside Boulevard has sufficient capacity to service the increased sewage flows from the development.

The assessment identified that a private sewerage pump station may be required to convey wastewater from the development to the nearest manhole (MH 3/S1A21) on the Waverley Lane frontage. The requirement for a pump station will be determined as part of detail design and associated hydraulic approvals.

Importantly, the assessment considered a higher density development, comprising 34 units and an equivalent population (EP) of 61.2. The current proposal comprises 30 units, with Blocks B and C retaining the previously assessed bedroom mix, resulting in a reduced EP of 54. Accordingly, the previous assessment appropriately demonstrates that the current development can be adequately serviced by Council's reticulated water and sewer networks.

The proposed development can be appropriately connected to telecommunications and electrical networks.

3.6. Stormwater Drainage

As detailed within the Site Based Stormwater Management Plan (SWMP) prepared by STP, it is not anticipated for the proposed development to connect to the existing stormwater infrastructure that currently traverses the full extent of the road parcel bordering the site to the east (refer **Appendix 7**).

Instead, the proposed development has been suitably designed to maintain the existing drainage pattern of the subject site. Specifically, the subject site discharges overland from Waverley Lane, down towards the Ross River, being the lawful point of discharge.

The SWMP confirms that no on-site stormwater detention is required to service the proposed development.

3.7. Landscaping

Given the nature of the proposed Multiple dwelling comprising a multi-storey unit development, shared outdoor space is integrated within the proposal to provision appropriate soft and hard landscaping for residents. Landscaped areas are provided throughout the site, including landscape buffers to the lot boundaries, landscaping to all outdoor parking areas and shared open space surrounding the accommodation buildings. The shared recreation area, involving a pool, gazebo and BBQ facilities, is located within the eastern corner of the site towards the Waverley Lane frontage. The proposed site layout, including landscape areas, is illustrated on the development plans provided at **Appendix 4**.

The extent and treatment of landscaping across the site remains generally consistent with the Landscape Concept Plans approved under the previous approval (TCC reference MCU25/0006), provided at **Appendix 8**, with the reduced scale of the proposed development resulting in an overall reduction in built form on the site. Amended landscape plans have not been prepared for the purpose of this application. Consistent with the approach adopted under MCU25/0006, it is anticipated detailed Landscape and Irrigation Design Plans will be prepared and submitted to Council for approval as part of a subsequent application for Operational Work, in accordance with conditions of any approval.

The proposed development does not involve the removal or alteration of any street tree.



3.8. Previous Planning Assessment

2023 - Material Change of Use – Multiple Dwelling (14 Units), Health Care Services and Shop (MCU23/0103) AND Reconfiguring a Lot – (1 into 3 Lots) (RAL23/0063)

A combined development application involving Material Change of Use – Multiple Dwelling (14 Units), Health Care Services and Shop (TCC reference MCU23/0103) combined with Reconfiguring a Lot – One Lot into Three Lots (TCC reference RAL23/0063) was lodged on 13 October 2023.

Whilst the development application was recommended for approval by the assessing officer, the combined application was ultimately refused at the full Council meeting. The Reconfiguring a Lot component of the application was later approved via court order consent.

Material Change of Use – Multiple Dwelling (34 Units) (MCU25/0006)

A development application for Material Change of Use - Multiple Dwelling (34 Units) was approved by Council on 10 December 2025, with a Decision Notice issued on 17 December 2025 (TCC reference MCU25/0006).

The approved development involves 3 detached buildings, communal recreation area and onsite parking and services. The approved plans are provided at **Appendix 8**.

3.9. Surrounding Locality Use and Zoning

The subject site is located within the Open space zone of the planning scheme and is in immediate proximity to Low density residential and Local centre zoned land, as shown in Figure 6 below. However, a high-level analysis of the surrounding area demonstrates that the existing built form and amenity of Waverley Lane align more closely with Medium density residential development.

Figure 6: Townsville City Plan Zone Mapping





As illustrated in Figure 6, there is an established pattern of Medium density residential uses adjoining the site, reinforcing a built form that supports higher density living. The adjoining property at 237-239 Riverway Drive, Douglas involves a 5-storey mixed-use development with healthcare services on the ground floor and four levels of residential apartments above. Additionally, other identified medium density compatible development in the locality consists of a townhouse development to the immediate south-east, with lots approximately 125m² in size and semi-detached dwellings built to the boundary on all sides.

Figure 7: Existing Use Analysis of Surrounding Locality



The proximity of the site to key infrastructure including the Local centre zone, public transport services, and extensive open space further supports its suitability for medium density residential development. The proposal responds to the existing character of Waverley Lane by delivering a built form that aligns with the prevailing development pattern. The introduction of multiple dwellings on the site is an appropriate extension of the established residential uses in the immediate locality. The proposal capitalises on the site's connectivity and access to services while reinforcing the existing residential character of the area.



4.0 Legislative Framework

4.1. State Planning Policy

In accordance with section 26 of the *Planning Regulation 2017*, assessment against the State Planning Policy (SPP) is required to the extent the provisions of the SPP are appropriately integrated within the planning scheme.

For the purposes of this development application, it is considered all relevant provisions of the State Planning Policy are appropriately integrated with the planning scheme and no additional standalone provisions are relevant for assessment.

4.2. North Queensland Regional Plan

The subject site is predominately located within the Townsville Urban Area of the North Queensland Regional Plan (NQRP). On review of the proposed development and the NQRP, it is considered all matters within the NQRP relevant to assessment of the proposal are generally in alignment with the planning scheme. Therefore, no further assessment against the NQRP is required.

4.3. State Development and Assessment Provisions

In accordance with schedule 10 of the *Planning Regulation 2017*, referral of the development application is not required to the State Assessment and Referral Agency.

4.4. Ergon Referral

In accordance with schedule 10 of the *Planning Regulation 2017*, referral of the development application is required to Ergon (Advice Agency) given Lot CP on SP159422 is burdened by an easement for electricity infrastructure purposes. The relevant referral trigger is identified as:

- Schedule 10, Part 9, Division 2, Table 2, Item 1 – Material Change of Use of premises subject to an easement for the benefit of distribution entity, or transmission entity, under the Electricity Act and the easement is for a supply network.

4.5. Local Planning Instrument

In accordance with section 51 of the *Planning Act 2016*, the proposed development requires assessment against the local government planning scheme, being the *Townsville City Plan 2014*.

In accordance with Table 5.5.1 of the planning scheme, the proposed development requires impact assessment given the proposal involves a Multiple Dwelling use within the Open space zone.

4.6. Assessment Benchmarks

Pursuant to Table 5.5.1 of the planning scheme the proposal requires impact assessment and is therefore assessable against the planning scheme in its entirety.

Accordingly, the proposed development has been assessed against the following planning scheme benchmarks:

- Strategic framework.
- Open space zone code.
- Low density residential zone code.
- Medium density residential zone code.
- Healthy waters code.



- Landscape code.
- Transport impact, access and parking code.
- Works code.
- Airport environs overlay code.
- Bushfire hazard overlay code.
- Flood hazard overlay code.
- Natural assets overlay code.

Assessment against the relevant benchmarks is provided within section 5.



5.0 Planning Assessment

5.1. Strategic Framework

The strategic framework sets the strategic direction for Townsville and ensures development is appropriately located and managed.

The strategic framework provides for four themes that collectively represent the intent of the planning scheme:

- (i) *Shaping Townsville;*
- (ii) *Strong, connected community;*
- (iii) *Environmentally sustainable future; and*
- (iv) *Sustaining growth.*

It is considered the proposed development furthers the intent of the above four themes and their corresponding strategic outcomes. In particular:

- The proposal supports the strategic intent of increasing housing supply within the existing urban footprint, delivering medium-density residential development in an area well serviced by infrastructure, public transport, and key employment hubs such as James Cook University and Townsville University Hospital.
- The proposed development provides a mix of 2-bedroom and 3-bedroom units to suit a range of households, including students, professionals, and families.
- The proposed development efficiently utilises existing infrastructure, promoting sustainable infill development.
- The proposed development provisions high-quality communal open spaces, landscaping, and pedestrian connectivity, contributing to a sense of place and community cohesion.
- The proposed development incorporates landscaping, communal open space, and articulated facades to enhance amenity contribution of the site and appropriately integrate with the existing streetscape.
- The proposed development has been strategically located to provision access to public transport, pedestrian networks, and key employment hubs, reducing reliance on private vehicles.
- The proposed development supports economic growth with the creation of local employment opportunities during construction and enhances the viability of nearby businesses and services.

5.2. Open Space Zone Code

The Open space zone supports organised activities with necessary infrastructure, including clubhouses, gymnasiums, pools, and courts, ensuring safe access and community benefit. The subject site is identified within the Open space zone, however maintains freehold tenure and does not function as public open space.

The subject site adjoins Open space zoned land that borders the Ross River, with extensive pedestrian and cycling networks, parkways and public recreation areas established surrounding the development site.



The proposal involves the establishment of a medium density use within Open space zoned land. It is considered the use of the development site for residential purposes is appropriate for the site and surrounding locality, given:

- The site is privately owned freehold land and does not contribute to public open space functions. The proposal does not reduce public access to open space, as it is adjacent to extensive parkland along the Ross River.
- Existing parkland, recreational space such as sports fields and courts are located elsewhere within Douglas along the Ross River.
- The site has been historically undeveloped and does not contain any ecological or recreational values. The proposed development has been intentionally designed to provide for a high level of visual amenity, with the provision of extensive on-site landscaping.
- The site adjoins existing development that is compatible with medium density residential uses. The proposed development reflects a logical extension of existing residential uses, ensuring a compatible built form with its surroundings.
- While the proposed development is not an open space-related use, it is an appropriate repurposing of land within a serviced urban area. The development provides significant landscaping and communal open spaces to maintain a balance between built form and green space.
- The proposed development is providing in-demand housing within the region and particularly in the immediate surrounding locality, being close to significant employment and educational centres.

5.3. Low Density Residential Zone Code

Whilst the subject site is not located within the Low density residential zone, given the surrounding land uses, assessment against the zone code is considered appropriate for completeness.

The purpose of the Low density residential zone code is to provide for *predominately dwelling houses*. As demonstrated within Figure 6 above, the site is located in immediate proximity to existing low density uses to the north-east along Teak Place. The proposed development has intentionally been designed to remain sympathetic to existing low density residential uses surrounding the site, maintaining the existing character of the streetscape.

The proposed development is considered to further the purpose and overall outcomes of the Low density residential zone code. In particular, the following assessment benchmarks have been identified as applicable to the development, with detail assessment of the code table response provided below:

Assessable Development

Amenity

PO10:

Development minimises impacts on surrounding land and provides for an appropriate level of amenity within the site, having regard to:

- a) noise;
- b) hours of operation;
- c) traffic;
- d) visual impact;
- e) odour & emissions;
- f) lighting;
- g) access to sunlight;
- h) privacy; and
- i) outlook.

**PO11:**

Landscaping is provided to enhance the appearance of the development, screen unsightly components, create an attractive on-site environment and provide shading.

Response

The proposed development has been intentionally designed to enhance and maintain the existing residential character and amenity of the surrounding locality, particularly noting Low density residential uses to the Teak Place frontage. Specifically:

- The proposed development has been intentionally designed to facilitate all traffic through Waverley Lane. No designated access is provisioned to Teak Place to maintain the low density nature of traffic movement along that specific road corridor.
- Proposed accommodation Block B has been orientated away from Teak Place, with of balconies fronting internally to the site or outward to the Ross River, minimise adverse impact to neighbouring low density residential uses.
- The proposed development incorporates screening to all private outdoor balconies and external windows, mitigating noise emissions, visual impact, privacy and overlooking impacts to Teak Place.
- The proposed development involves extensive landscaping throughout, specifically noting landscaping strips to all lot boundaries, providing buffering and privacy.
- The proposed development provides for a multiple dwelling use that is consistent with existing development within the immediate surrounding locality. Particularly noting the adjoining property at 237-239 Riverway Drive is identified within the Low density residential zone.
- The proposed development involves a high level of visual amenity to Waverley Lane, noting built-form is setback from the main road frontage to mitigate visual impact as well as the inclusion of a 3m landscape strip the full width of the frontage.
- The proposed development involves a residential use consistent with surrounding residential uses and infrastructure.
- Sufficient on-site car parking is provided in accordance with planning scheme requirements.
- The proposal offers a variety of parking options, including covered parking to the understorey of all accommodation buildings, and additional uncovered parking centrally within the development for visitors and overflow resident parking.
- Shared recreational space has been located within the eastern corner of the site towards the Waverley Lane frontage, buffered by landscaping to all sides to avoid adverse impact to surrounding residential development.

Additionally, it is considered the proposed development provides for appropriate landscaping on-site. Specifically:

- Landscape buffers are provided to the full extent of all lot boundaries, excluding the crossover to Waverley Lane.
- A 3m wide landscaping strip is provided to the Waverley Lane road frontage.
- Refuse facilities and plant equipment is appropriately screened by a 1800mm high fence and not visible from the road frontage.
- Shared outdoor open space is provisioned surrounding the accommodation buildings on the site.
- Landscaping is provisioned to all outdoor parking areas within the development



Assessable Development

Crime Prevention through Environmental Design

PO13:

Development facilitates the security of people and property having regard to:

- a) opportunities for casual surveillance and sight lines;
- b) exterior building design that promotes safety;
- c) adequate lighting;
- d) appropriate signage and wayfinding;
- e) minimisation of entrapment locations; and

building entrances, loading and storage areas that are well lit and lockable after hours.

Response

The proposed development involves a Multiple dwelling with access and fenestrations overlooking adjoining public open space areas to the east and west, Waverley Lane and the cul-de-sac of Teak Place, providing increased opportunity for casual surveillance.

Assessable Development

Parking and Service

PO16:

Parking facilities are located to be concealed from public view to ensure an attractive streetscape.

AO16:

Vehicle parking structures are located:

- a) behind the building setback; or
- b) behind the building; or
- c) at basement level.

PO17:

Waste disposal and servicing areas are screened from public view and do not have adverse amenity impacts on adjoining properties.

Response

The proposed development involves covered parking spaces concealed to the understorey of the 2 proposed accommodation buildings. Uncovered parking is provided centrally within the site layout, concealed from direct view to all road frontages. Vehicle parking areas are not readily visible from either road frontage, and appropriately screened with landscaping and built-form.

The proposed development provides for a dedicated bulk refuse area that is appropriately located and screened from public view. Specifically, bulk refuse is located in close proximity to the Waverley Lane frontage for ease of access and fully screened with 1800mm fence. Further, the proposed refuse storage areas is located away from the communal recreation open space to further mitigate potential impacts such as odour and wastewater runoff.

Given the subject site's characteristics, and the proposed scale of the development, the proposal is considered appropriate for the locality. Particularly noting the development provides for increased housing density within a demand area that is well located in proximity to centre zones and public transport facilities.



5.4. Medium Density Residential Zone Code

Whilst the subject site is not located within the Medium density residential zone, given the surrounding land uses, assessment against the zone code is considered appropriate for completeness.

The purpose of the Medium density residential zone code is to provide for *a range and mix of dwelling types including dwelling houses and multiple dwellings*. As demonstrated within Figure 6 at section 3.9 above, the site is located in immediate proximity to existing medium density residential uses to the south along Waverley Lane. We note Waverley Lane is an established precinct that is consistent with medium density residential zone land, located adjacent land identified within the Local centre zone.

The proposed development has been intentionally designed to remain consistent with the established residential nature of development along Waverley Lane. It is particularly noted the site adjoins a five-storey mixed use development to the south located at 237-239 Riverway Drive. Specifically, the development involves the ground floor storey for the use of health care services with the four remaining storeys above utilised for residential development.

Further, adjacent the subject site to the opposite side of Waverley Lane includes two clusters of six attached townhouses. The townhouse development involves lot sizes of approximately 125m² each, consistent with residential development of a medium density nature, further establishing a higher residential density along Waverley Lane.

The proposed development is considered to further the purpose and overall outcomes of the Medium density residential zone code. Detail assessment against the Medium density residential zone code is provided at **Appendix 9**.

5.5. Healthy Waters Code

The purpose of the Healthy waters code is to *ensure development manages stormwater and wastewater as part of the integrated total water cycle and in ways that help protect the environmental values specified in the Environmental Protection (Water) Policy 2009*.

The proposed development is considered to further the purpose and overall outcomes of the Healthy waters code. A Site Based Stormwater Management Plan (SWMP), prepared by STP Consultants, confirming this is provided at **Appendix 7**. The SWMP demonstrates that the proposed development can be undertaken subject to the requirements listed in the report.

As detailed within Section 3.5 of this planning report, the proposed development can be suitably serviced by Council's reticulated wastewater and water infrastructure. A water and sewer network planning report, prepared by DPM Water, is provided at **Appendix 6**.

5.6. Landscape Code

The purpose of the Landscape code is to *ensure landscaping in both the private and public domains is designed and constructed to a high standard, provides a strong contribution to the city image, is responsive to the local character, site and climatic conditions and remains fit for purpose over the long-term*.

The proposed development is considered to further the purpose and overall outcomes of the Landscape code. Landscaping across the site has previously been considered by Council under the



previous approval (TCC reference MCU25/0006), with the approved Landscape Concept Plans (Drawing Nos LCP-OPL-006/01/A – 04/A, dated October 2025) provided at **Appendix 8**.

The proposed development is of a reduced scale to the previously approved development, comprising 30 units across Blocks B and C in lieu of the approved 34 units across three buildings, with the communal recreation area, including the pool and gazebo, located within the area previously occupied by approved Block A. The landscape outcomes established under the previous approval are maintained by the proposed development. In particular:

- The extent of landscaped area provided across the site will be no less than that approved under the existing approval, with the replacement of a multi-storey building with an open communal recreation area reducing the overall intensity of built form on the site.
- Landscape buffers to the site boundaries, including the landscape strip to the Waverley Lane frontage and the landscaping treatment to the eastern boundary adjoining Teak Place, are maintained generally consistent with the approved Landscape Concept Plans.
- Landscaping will continue to be provided to all sides of the relocated pool and gazebo for privacy and noise attenuation purposes, consistent with the treatment approved for the previous location.
- Landscaping surrounding all outdoor on-site car parking areas is maintained.
- The proposed development does not involve the removal of or alteration to any street tree.

Amended landscape plans have not been prepared for the purpose of this application, noting the proposed development does not diminish the landscape outcomes previously accepted by Council for the site. Consistent with the conditions of MCU25/0006, it is anticipated detailed Landscape and Irrigation Design Plans will be required to be prepared and submitted to Council for approval as part of a subsequent application for Operational Work.

Given the landscape outcomes previously accepted by Council are maintained by the proposed development, further assessment against the Landscape code is not considered necessary.

5.7. Transport Impact, Access and Parking Code

The purpose of the Transport impact, access and parking code is to ensure *appropriate provision for transport and end of trip facilities, and to facilitate, as far as practicable, an environmentally sustainable transport network*.

In accordance with schedule 6.10 of the planning scheme, the required car parking rates for a Multiple dwelling use is:

- 1.7 spaces per dwelling;
- 0.2 spaces per dwelling for visitors; and
- 1 x vehicle wash bay per development.

The proposed development involves appropriate parking rates associated with the development in accordance with Council's standards. Specifically, Council requires a minimum of 60 on-site car parking for the associated development and 70 car parks are incorporated into the proposal. It is noted sufficient space is afforded within the development to provide for a vehicle wash bay.

The proposed development is considered to further the purpose and overall outcomes of the Transport impact, access and parking code. Particularly given, the proposed development provides for the following:



- 70 on-site car parks, in excess of Council's nominated standard for a development of this nature.
- Site access via the existing access easement within Easement B on SP159422 in adjoining allotment Lot CP on SP177536, with access to Easement B gained via Waverley Lane road frontage.
- Pedestrian sight triangles on both sides of the driveway to ensure that sight lines to pedestrians on Waverley Lane and the access easement are maintained.
- Access is provisioned via a single frontage to minimise impact to the surrounding traffic network, particularly associated with primarily single dwelling houses.
- The site can be appropriately connected to Council's reticulated water and wastewater networks.
- Stormwater quantity and quality can be appropriately managed, with no adverse effect on surrounding properties.
- Suitable waste management is incorporated within the proposal, with provision of bulk waste storage that is of adequate size and screened from the street frontage.

Refer **Appendix 5** for the Traffic Impact Assessment (TIA) prepared by Geleon in relation to previously approved development on the site. Note the proposed development involves a reduction in scale of the previously approved development, and the proposal is considered consistent with the TIA provided.

5.8. Works Code

The purpose of the Works Code is to *ensure development is provided with a level of infrastructure which maintains or enhances community health, safety and amenity and which avoids or minimises impacts on the natural environment.*

The proposed development is considered to further the purpose and overall outcomes of the Works Code. As outlined in Section 3.5, the Water Supply and Sewerage Planning Report prepared by DPM Water (**Appendix 6**) for the previously approved development (TCC Ref: MCU25/0006) confirms that Council's existing reticulated water and sewer networks have sufficient capacity to service the development.

The previous assessment considered a higher equivalent population (EP) than the current proposal. Accordingly, the proposed development can be appropriately serviced by the existing networks, subject to detailed design and any necessary infrastructure works.

Any required augmentation or connection works will be addressed through subsequent Operational Works and hydraulic approvals.

Accordingly, the proposed development is considered to satisfy the relevant requirements of the Works Code.

5.9. Airport Environs Overlay Code

The purpose of the Airport environs overlay code is to *ensure the safe and efficient operations of the airport, RAAF base and aviation facilities are protected.*

The proposed development is consistent with the purpose of the Airport environs overlay code. The proposed subject site is identified as wholly contained area of operational airspace more than 90m above natural ground level. The proposed development involves a multi-storey unit development with a maximum building height of approximately 12.4m. Therefore, the proposed development is not considered to impact the safe and efficient operations of the airport, RAAF base and aviation facilities.



Given the nature of the development, further assessment against the Airport environs overlay code is not considered necessary.

5.10. Bushfire Hazard Overlay Code

The purpose of the Bushfire hazard overlay code is to *ensure that development does not:*

- a) *increase the extent or the severity of bushfire hazard; or*
- b) *increase the risk to life, property, community and the environment.*

The subject lot is mapped within the Bushfire hazard overlay as wholly containing area of Potential impact buffer and partially included within High potential bushfire intensity. The proposed development is consistent with the purpose and overall outcomes of the Bushfire hazard overlay code, particularly given:

- The subject site is clear of any significant vegetation, with vegetation limited to the opposite side of pedestrian pathway within adjacent parkland.
- The proposed development is sufficiently setback from lot boundaries to provide for sufficient buffer to neighbouring vegetation.

Given the nature of the development, further assessment against the Bushfire hazard overlay code is not considered necessary.

5.11. Flood Hazard Overlay Code

The purpose of the Flood hazard overlay code is to *manage development outcomes in flood hazard areas so that risk to life, property, community, economic activity and the environment during future flood events is minimised, and to ensure that development does not increase the potential for flood damage on-site or to other property.*

The subject site contains areas of low, medium and high flood hazard under the Flood hazard overlay. Notwithstanding the mapped flood hazard, the Site Based Stormwater Management Plan (SWMP) confirms that the site is above the defined flood event level of 12.07m AHD (refer **Appendix 7**).

The proposed development has been designed to appropriately manage potential flood risk to people and property. In particular, both accommodation buildings provide parking at ground level, with habitable areas elevated to the first floor and above. The SWMP demonstrates that the development can be undertaken in accordance with the relevant flood management requirements.

Accordingly, the proposed development is considered consistent with the purpose and overall outcomes of the Flood hazard overlay code.

5.12. Natural Assets Overlay Code

The purpose of the Natural assets overlay code is to:

- a) *protect areas of environmental significance, and the ecological processes and biodiversity values of terrestrial and aquatic ecosystems;*
- b) *maintain ecosystem services and other functions performed by Townsville's natural areas; and*
- c) *protect water quality, ecosystem health and the natural hydrological functioning of waterways, wetlands and their riparian areas.*



The subject land is identified within the Natural assets overlay as containing area of very high environmental importance. The subject site is a vacant, cleared allotment, comprising minimal vegetation or environmental value. The proposed development does not involve further clearing of the site or extensive earthworks, retaining the natural slope of the land to the extent possible.

The proposed development is consistent with the purpose and overall outcomes of the Natural assets overlay code, and further assessment against the code is not considered necessary.



6.0 Other relevant matters

In accordance with section 45(5)(b) of the Act, the following are other relevant matters considered applicable to assessment of this development application:

- The proposed development contributes to housing diversity within the Douglas locality by providing a mix of 2-bedroom and 3-bedroom multiple dwellings. This aligns with broader housing strategies to support a range of household types, including students, young professionals, and families, particularly given the site's proximity to James Cook University and Townsville University Hospital.
- The subject site is located within close proximity to major employment and education hubs, including James Cook University and Townsville University Hospital. The proposal supports the Townsville economy by providing additional housing in an area with high demand for rental accommodation, particularly for healthcare professionals, academics, and students.
- Queensland is currently experiencing a critical housing shortage, with increasing demand for well-located, medium-density residential development to cater to population growth and affordability pressures. This proposal directly contributes to easing housing supply constraints by delivering 30 new dwellings in an area with demonstrated need, ensuring more Queenslanders have access to suitable accommodation.
- Townsville is projected to experience significant population growth, with a need for approximately 45,000 new homes over the next 25 years. The proposal directly contributes to meeting this demand by providing appropriately designed housing in an established residential area, ensuring a balance between growth and maintaining the existing character of the locality.
- The proposed development utilises vacant land efficiently, supporting infill development within an established urban area.
- The site is well-serviced by existing public transport networks and cycling infrastructure, reducing car dependency and promoting sustainable transport options. The development supports active transport by providing pedestrian-friendly access and connectivity to nearby amenities.
- The proposed development will generate economic benefits through construction activity, creating jobs and supporting local suppliers and trades. Additionally, the increase in local population will contribute to the vibrancy of nearby businesses and services.
- The proposed development aligns with broader planning objectives outlined in the *Townsville City Plan 2014* and *North Queensland Regional Plan*, which seek to promote compact, connected, and liveable urban areas with access to employment, education, and essential services.



7.0 Conclusion and Recommendations

This town planning report has been prepared by Northpoint Planning on behalf of Opulence Builders Group in association with a Development Application for a Material Change of Use – Multiple Dwelling (30 Units) located at 12-14 Waverley Lane, Douglas and formally described as Lot 999 on SP159422.

The subject site is located within the Open space zone of the planning scheme. An assessment against the relevant benchmarks has been undertaken and is outlined in detail in this town planning report.

The proposal is consequently considered appropriate development in the context in which it is located and has been suitably demonstrated to comply with the relevant assessment benchmarks. It is therefore recommended Council approve the proposed development, subject to reasonable and relevant conditions.



Appendix 1

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Opulence Builders Group C/- Northpoint Planning
Contact name (only applicable for companies)	Mary McCarthy
Postal address (P.O. Box or street address)	PO Box 4
Suburb	Townsville City
State	QLD
Postcode	4810
Country	Australia
Contact number	(07) 4440 5282
Email address (non-mandatory)	hello@northpointplanning.com.au mary@northpointplanning.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	NP24.257.01
1.1) Home-based business	
☐ Personal details to remain private in accordance with section 264(6) of <i>Planning Act 2016</i>	
2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
☒ Yes – the written consent of the owner(s) is attached to this development application	
☐ No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		12-14	Waverley Lane	Douglas
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4814	999	SP159422	Townsville City Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
		237-239	Riverside Boulevard	Douglas
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
		CP	SP177536	Townsville City

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		☐ WGS84 ☐ GDA94 ☐ Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		☐ 54 ☐ 55 ☐ 56	☐ WGS84 ☐ GDA94 ☐ Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☐ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

☒ In or adjacent to a water body or watercourse or in or above an aquifer	
Name of water body, watercourse or aquifer:	Ross River
☐ On strategic port land under the <i>Transport Infrastructure Act 1994</i>	
Lot on plan description of strategic port land:	
Name of port authority for the lot:	
☐ In a tidal area	
Name of local government for the tidal area (if applicable):	
Name of port authority for tidal area (if applicable)	

☐ On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport:
☐ Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification:
☐ Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification:

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☒ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☒ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

Multiple Dwelling (30 Units)

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal (e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

6.4) Is the application for State facilitated development?

- ☐ Yes - Has a notice of declaration been given by the Minister?
- ☒ No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use	☒ Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	☐ Yes – complete division 2
Operational work	☐ Yes – complete division 3
Building work	☐ Yes – complete DA Form 2 – Building work details

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Multiple Dwelling, pool, gazebo and ablution block	A Multiple Dwelling is defined as premises containing three or more dwellings for separate households	30	

8.2) Does the proposed use involve the use of existing buildings on the premises?

- ☐ Yes
- ☒ No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

--

9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

☐ Subdivision (complete 10)	☐ Dividing land into parts by agreement (complete 11)
☐ Boundary realignment (complete 12)	☐ Creating or changing an easement giving access to a lot from a constructed road (complete 13)

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?	
☐ Yes – provide additional details below ☐ No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?	
☐ Road work ☐ Drainage work ☐ Landscaping ☐ Other – please specify:	☐ Stormwater ☐ Earthworks ☐ Signage ☐ Water infrastructure ☐ Sewage infrastructure ☐ Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)	
☐ Yes – specify number of new lots:	
☐ No	

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Townsville City Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity

- ☐ SEQ northern inter-urban break – community activity
- ☐ SEQ northern inter-urban break – indoor recreation
- ☐ SEQ northern inter-urban break – urban activity
- ☐ SEQ northern inter-urban break – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material *(from a watercourse or lake)*
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees *(category 3 levees only)*
- ☐ Wetland protection area

Matters requiring referral to the **local government**:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- ☐ Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

- ☒ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- ☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council**:

- ☐ Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the Transport Infrastructure Act 1994**:

- ☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- ☐ Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator:

- ☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the **Chief Executive of the relevant port authority**:

- ☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the **Gold Coast Waterways Authority**:

- ☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the **Queensland Fire and Emergency Service**:

- ☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

18) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☒ Yes – provide details below or include details in a schedule to this development application

☐ No

List of approval/development application references	Reference number	Date	Assessment manager
☒ Approval ☐ Development application	MCU25/006	17 December 2025	Townsville City Council
☐ Approval ☐ Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- ☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – Form 536: Notification of a facility exceeding 10% of schedule 15 threshold is attached to this development application
- ☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000?**

- ☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works?**

- ☐ Yes – the relevant template is completed and attached to this development application
- ☒ No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants?**

- ☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- ☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the Water Act 2000?**

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the Coastal Protection and Management Act 1995?**

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- ☒ No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title

☒ No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places.

For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the *Planning Regulation 2017* for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable

25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference:	50457410	Search Date:	29/01/2025 10:48
Date Title Created:	15/09/2003	Request No:	50700012
Previous Title:	50397350, 50454265		

ESTATE AND LAND

Estate in Fee Simple

LOT 999 SURVEY PLAN 159422

Local Government: TOWNSVILLE

REGISTERED OWNER

Dealing No: 722621318 18/07/2023

MARTINEZ GARCIA PTY LTD A.C.N. 631 125 169

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 10469224 (POR 148)
2. EASEMENT No 706979916 11/09/2003 at 15:46
benefiting the land over
EASEMENT B ON SP159422
3. MORTGAGE No 722621319 18/07/2023 at 14:42
AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED A.C.N. 005
357 522

ADMINISTRATIVE ADVICES

NIL

UNREGISTERED DEALINGS

NIL

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference:	50557317	Search Date:	18/06/2025 13:44
Date Title Created:	07/06/2005	Request No:	52274085
Previous Title:	50556778		

LAND DESCRIPTION

COMMON PROPERTY OF EDGE WATER COMMUNITY TITLES SCHEME 34035

COMMUNITY MANAGEMENT STATEMENT 34035

Local Government: TOWNSVILLE

REGISTERED OWNER

Dealing No: 708698179 31/05/2005

BODY CORPORATE FOR EDGE WATER COMMUNITY TITLES
SCHEME 34035

NORTHERN BODY CORPORATE MANAGEMENT
PO BOX 1595
THURINGOWA CENTRAL QLD 4817

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 10469224 (POR 148)
2. EASEMENT No 706979916 11/09/2003 at 15:46
burdening the land to
LOT 999 ON SP159422 OVER
EASEMENT B ON SP159422
3. EASEMENT IN GROSS No 707984963 18/08/2004 at 16:04
burdening the land
ERGON ENERGY CORPORATION LIMITED A.C.N. 087 646 062
over
EASEMENT D ON SP169641
4. BUILDING MANAGEMENT STATEMENT No 708698080 31/05/2005 at 09:28
benefiting and burdening the lot
5. REQUEST FOR NEW CMS No 723634430 30/10/2024 at 06:40
New COMMUNITY MANAGEMENT STATEMENT 34035
COMMERCIAL MODULE

ADMINISTRATIVE ADVICES

NIL

UNREGISTERED DEALINGS

NIL

Corrections have occurred - Refer to Historical Search

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

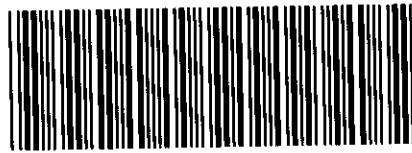
FORM 9 Version 2

Land Title Act 1994 and Land Act 1994

EASEMENT

QUEENSLAND LAND REGISTRY

Page 1 of 1

**706979916****TE 600****\$102.50**
11/09/2003 15:46

Stamp Duty Imprint

Queensland Duty Paid \$	1-50
On the Amount of \$	1-00
Duty Code TRFR	
13A:TCR:10	Transaction Number 567/03
Signed: <i>[Signature]</i>	11/9/03

1. Grantor
TOWNSVILLE CITY COUNCIL

Lodger Name, address & phone number
Lodger Code
WILSON RYAN GROSE 007
SOLICITORS TOWNSVILLE

2. Description of Easement/Lot Servient Tenement (burdened land)	County	Parish	Title Reference
Easement B in Lot 1285 on SP159422	Elphinstone	Stuart	
*Dominant Tenement (benefited land)			
Lot 999 on SP159422	Elphinstone	Stuart	

* not applicable if easement in gross

3. Interest being burdened	*4. Interest being benefited
Fee Simple	Fee Simple

* not applicable if easement in gross

5. Grantee	Given names	Surname/Company name and number	(include tenancy if more than one)
		TOWNSVILLE CITY COUNCIL	Not Applicable

6. Consideration	7. Purpose of easement
\$1.00	Access Easement

8. Grant/Execution

The Grantor for the above consideration grants to the Grantee the easement over the servient tenement for the purpose stated in item 7 and the Grantor and Grantee covenant with each other in terms of -

the attached schedule

the attached schedule and standard terms document no.

standard terms document no.

#delete inapplicable words

Witnessing Officer**Execution Date**

.....signature

9/9/03

.....full name

.....qualification

as per Schedule 1 of Land Title Act 1994 (eg Legal Practitioner, JP, C.Dec)

Witnessing Officer**Execution Date**

.....signature

9/9/03

.....full name

.....qualification

as per Schedule 1 of Land Title Act 1994 (eg Legal Practitioner, JP, C.Dec)

g:\users\pj\d\ac0109del030837.access\seasement.doc

[Signature]
.....
Grantor's Signature
.....
MAYOR

[Signature]
.....
CHIEF EXECUTIVE OFFICER

[Signature]
.....
Grantee's Signature
.....
MAYOR

[Signature]
.....
CHIEF EXECUTIVE OFFICER

Title Reference -

This is the Schedule referred to in the Easement dated the 9th day of September 2003 comprising of ~~two~~ one page.

The Grantor does hereby grant, transfer and assign unto the Grantee the full and free right and liberty TO USE THE BURDENED LAND in common with the Grantor its invitees and all other persons having the like right for ingress, egress and access purposes and for any other purpose connected with ingress, egress and access to the benefited land AND THE GRANTOR HEREBY COVENANTS with the Grantee that notwithstanding anything made, done or knowingly suffered by the Grantor, it has full power to make the grant hereby made and that such grant shall remain to and be quietly held and enjoyed and taken by the Grantee and every person or corporation deriving title under the Grantee and the benefit thereof shall be received and taken accordingly without any interruption or disturbance by the Grantor or any person rightfully claiming or purporting to claim by, through, under or in trust for the Grantor AND FURTHER that the Grantor and every other person having or rightfully claiming any estate or interest in the said land will from time to time and at all times hereafter on the request and at the cost of the Grantee and of any person or corporation deriving title under it execute and do all such lawful assurances and things necessary for the further and more perfectly assuring the said grant and the rights thereby given to the Grantee and those deriving title under the Grantee as by them or any of them shall be reasonably required AND FURTHER that the foregoing GRANT AND COVENANT is made subject to and shall be read as one with the following special conditions hereafter contained in paragraphs 1 to 9.

1. All signage, lighting, landscaping, parking meters, parking bays, traffic devices, roads, pathways, fences, paved surfaces and other improvements, equipment and fittings installed in or placed upon the burdened land shall remain the property of the Grantor.
2. The Grantor shall be responsible for the construction, maintenance and repair of any signage, lighting, landscaping, parking meters, parking bays, traffic devices, roads, pathways, fences, paved surfaces and other improvements, equipment and fittings on the burdened land.
3. The Grantee covenants with the Grantor that for the purpose of gaining access to the benefited land the Grantee shall utilise the driveways, roadways, pathways and access points as installed by the Grantor on the burdened land.
4. The Grantee covenants with the Grantor that the Grantee shall comply with any rules and regulations which may from time to time be put in place by the Grantor relating to the burdened land.
5. The Grantor covenants with the Grantee that it will refrain from any action likely to jeopardise or prejudicially affect access or the use of any equipment or fittings installed in or placed upon the burdened land in pursuance of this Easement and it will at all times refrain from using the burdened land in a manner likely to obstruct or unreasonably hinder access by the Grantee;
6. The Grantee indemnifies and at all times agrees to indemnify the Grantor against any claims demands or actions which may be made or brought against the Grantor as a result of the use by the Grantee, its patrons or lessees of the burdened land.
7. The Grantor will pay the costs, if any, of and incidental to the preparation, execution, stamping and registration of this Grant of Easement together with the costs and expenses of and incidental to any necessary survey.
8. The Grantor and the Grantee jointly covenant that the terms of this agreement shall not be released, surrendered, varied or modified without the prior written consent of the Local Authority. In considering any such proposal for consent, the Council may either:-
 - (a) consent to the proposal;
 - (b) for good reason, refuse consent to the proposal; or
 - (c) consent to the proposal subject to such reasonable conditions as the Council may require.
9. The Grantor will pay the cost of any release, surrender, variation or modification of this agreement, including but not limited to the cost of and incidental to the preparation, execution, stamping and registration of a further Grant of Easement together with the costs and expenses of and incidental to any necessary survey.

g:\users\pjd\personal\mab1601fro013082-accesseasementschedule.doc

**Company owner's consent to the making of a development application
under the *Planning Act 2016***

MARTINEZ GARCIA PTY LTD (ACN 631 125 169)

as owner(s) of premises identified as:

Lot 999 on SP159422 and located at 12-14 Waverley Lane, Douglas

consent to the making of a development application under the *Planning Act 2016* by Northpoint
Planning on the premises described above.

Signature



Date

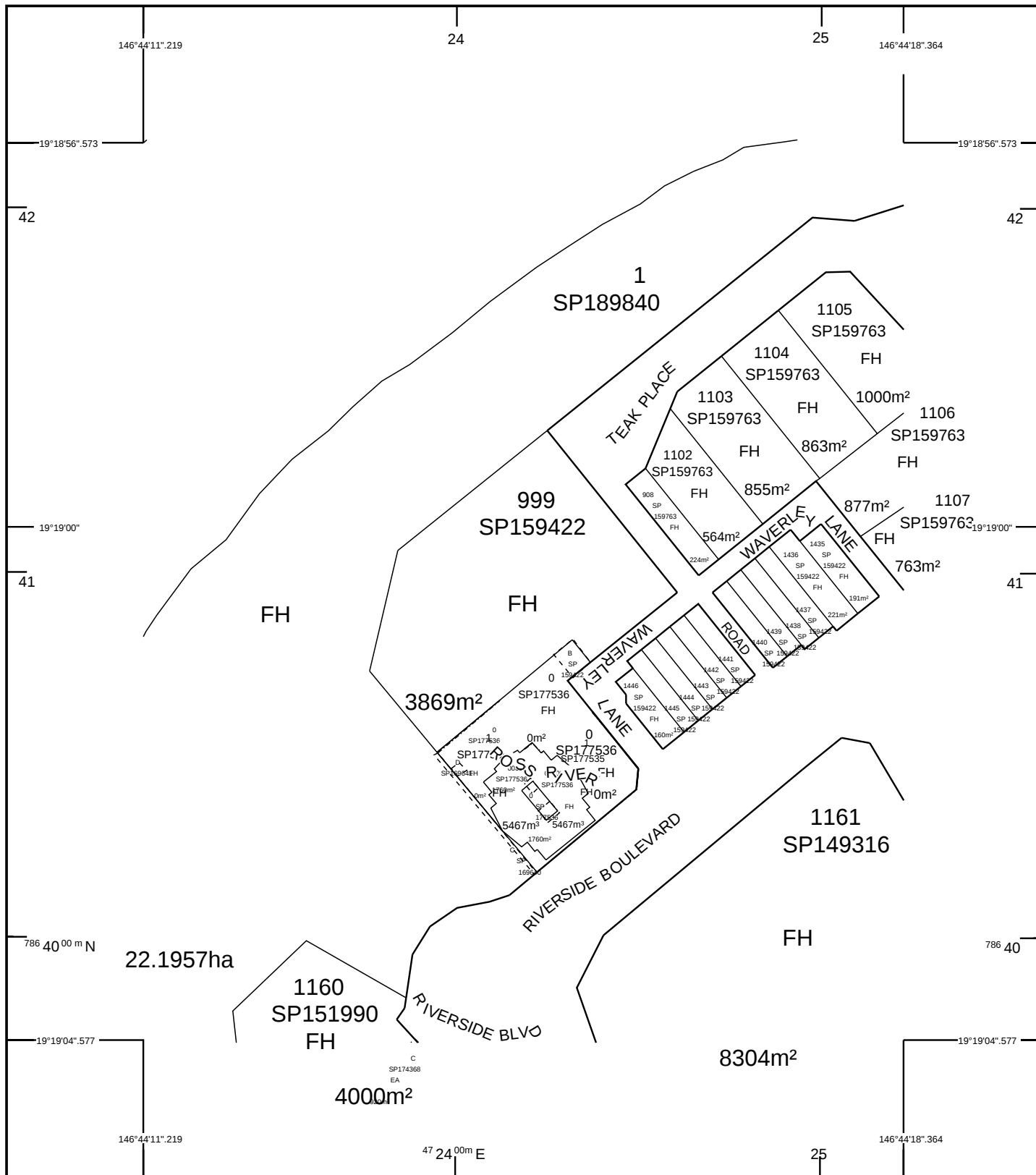
29/01/2025

Signature

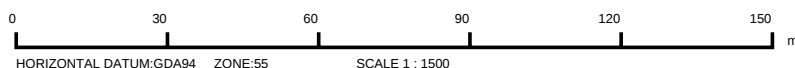
Date



Appendix 2

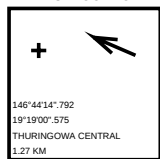


STANDARD MAP NUMBER
8259-31211



SmartMap

MAP WINDOW POSITION &
NEAREST LOCATION



SUBJECT PARCEL DESCRIPTION

DCDB	
Lot/Plan	999/SP159422
Area/Volume	3869m ²
Tenure	FREEHOLD
Local Government	TOWNSVILLE CITY
Locality	DOUGLAS
Segment/Parcel	62188/259

CLIENT SERVICE STANDARDS

PRINTED 25/11/2024

DCDB 24/11/2024

Users of the information recorded in this document (the Information) accept all responsibility and risk associated with the use of the Information and should seek independent professional advice in relation to dealings with property.

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For further information on SmartMap products visit
<https://www.qld.gov.au/housing/buying-owning-home/property-land-valuations/smartmaps>

An External Product of
SmartMap Information Services

Based upon an extraction from the
Digital Cadastral Data Base



**Queensland
Government**

(c) The State of Queensland,
(Department of Resources) 2024.

State Assessment and Referral Agency - Matters of Interest Report

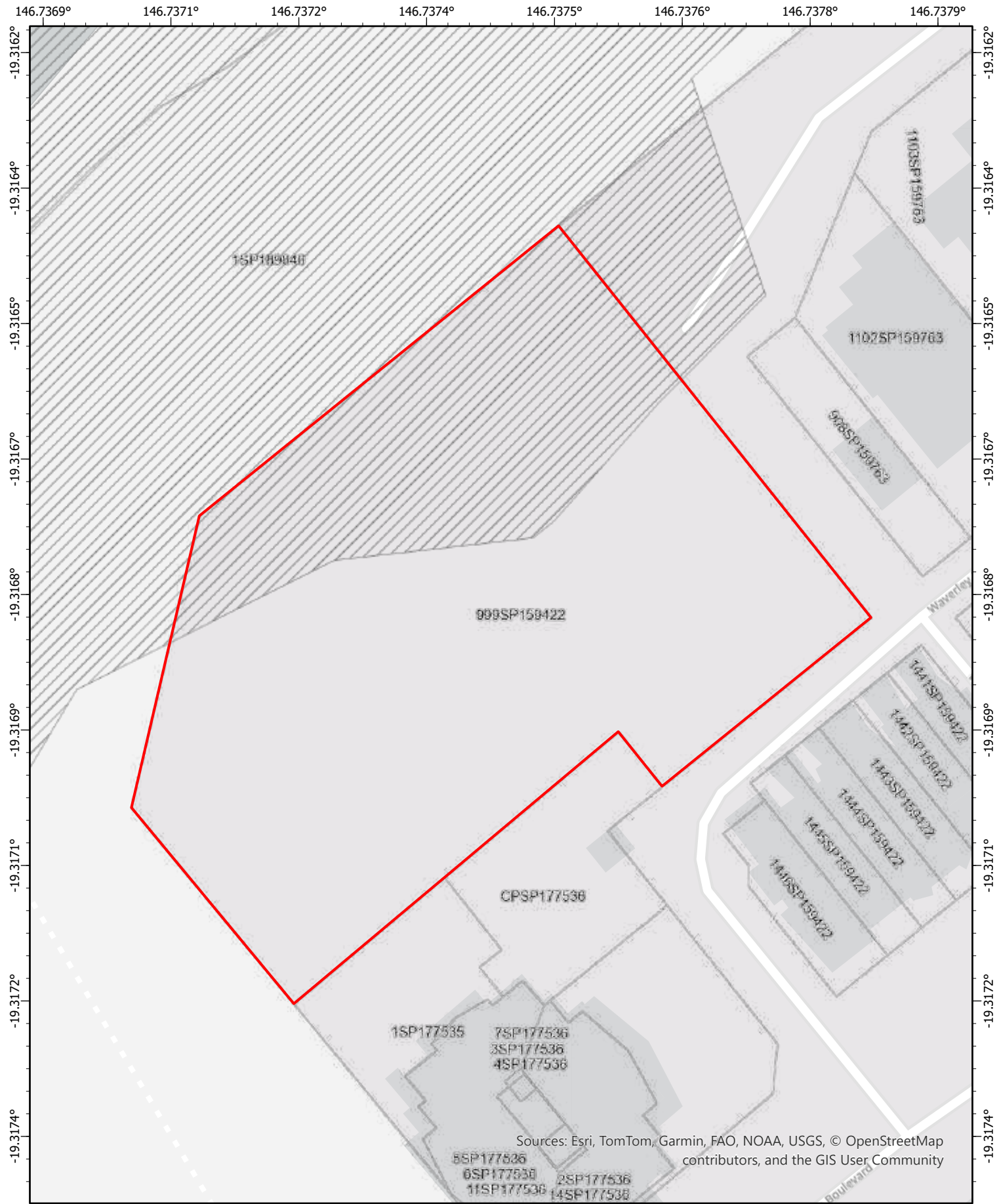
Matters of Interest for all selected Lot Plans

Regulated vegetation management map (Category A and B extract)

Matters of Interest by Lot Plan

Lot Plan: 999SP159422 (Area: 3869 m²)

Regulated vegetation management map (Category A and B extract)



Regulated vegetation
management map (Category A
and B extract)

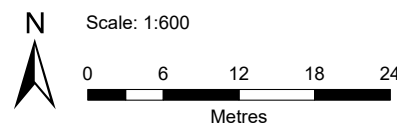
 Category B on the
regulated vegetation
management map

Disclaimer This map has been generated from the information supplied to the Queensland Government for the purposes of the Development Assessment Mapping System. The map generated has been prepared with due care based on the best available information at the time of publication. The State of Queensland holds no responsibility for any errors, inconsistencies or omissions within this document. Any decisions made by other parties based on this document are solely the responsibility of those parties.

Document Set ID: 28742060. Subject to the full terms and conditions available on the department's website.

Version: 1, Version Date: 18/08/2026

Date: 11/08/2026



Queensland
Government



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Appendix 3

Subject Site and Surrounds

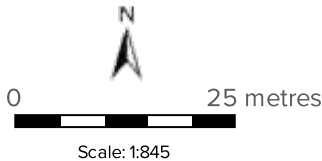
12-14 and 237-239 Waverley Lane | Lot 999 on SP159422 and Lot 0 on SP177536

19°18'58"S 146°44'12"E

19°18'58"S 146°44'18"E



Legend located on next page



Printed at: A4

Print date: 18/6/2025

Not suitable for accurate measurement.

Projection: Web Mercator EPSG 102100 (3857)

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Department of Natural Resources and Mines,
Manufacturing, and Regional and Rural Development

19°19'3"S 146°44'12"E

19°19'3"S 146°44'18"E



Appendix 4

PROPOSED MULTIPLE DWELLINGS
OPULENCE BUILDERS GROUP
2-14 WAVERLEY LANE, DOUGLAS

PRELIMINARY
NOT FOR CONSTRUCTION
PLANS ARE SUBJECT TO CHANGE TO
COMPLY WITH RELEVANT COVENANT &
BUILDING CERTIFICATION APPROVALS.

SHEET LIST

SHEET No.	SHEET NAME	Project Issue DATE	Project Revision	Current Revision	Revision Date	Current Revision Description
01	COVER PAGE	17.04.25	1	15	30.07.26	SKILLION ROOF
02	SITE PLAN - PROPOSED	17.04.25	1	15	30.07.26	SKILLION ROOF
03	COMMUNAL OPEN SPACE	17.04.25	1	15	30.07.26	SKILLION ROOF
04-B-01	BOK B - FLOOR PLAN - GROUND LEVEL	17.04.25	1	15	30.07.26	SKILLION ROOF
04-B-02	BOK B - FLOOR PLAN - LEVEL 1	17.04.25	1	15	30.07.26	SKILLION ROOF
04-B-03	BOK B - FLOOR PLAN - LEVEL 2	17.04.25	1	15	30.07.26	SKILLION ROOF
04-B-04	BOK B - FLOOR PLAN - LEVEL 3	17.04.25	1	15	30.07.26	SKILLION ROOF
04-C-01	BLK C - FLOOR PLAN - GROUND LEVEL	17.04.25	1	15	30.07.26	SKILLION ROOF
04-C-02	BLK C - FLOOR PLAN - LEVEL 01	17.04.25	1	15	30.07.26	SKILLION ROOF
04-C-03	BLK C - FLOOR PLAN - LEVEL 02	17.04.25	1	15	30.07.26	SKILLION ROOF
04-C-04	BLK C - FLOOR PLAN - LEVEL 03	17.04.25	1	15	30.07.26	SKILLION ROOF
05-B-01	ELEVATIONS	17.04.25	1	15	30.07.26	SKILLION ROOF
05-B-02	ELEVATIONS	17.04.25	1	15	30.07.26	SKILLION ROOF
05-C-01	ELEVATIONS	17.04.25	1	15	30.07.26	SKILLION ROOF
05-C-02	ELEVATIONS	17.04.25	1	15	30.07.26	SKILLION ROOF

GENERAL:

- IF IN DOUBT, JUST ASK.
- USE FIGURED DIMENSIONS, DO NOT SCALE FROM DRAWINGS.
- CONFIRM ALL RELEVANT DIMENSIONS, LEVELS AND DETAILS ON SITE PRIOR TO COMMENCEMENT OF ALL WORK. CONFIRM SETBACKS TO ALL ALIGNMENTS.
- THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ENGINEERING AND OTHER CONSULTANT'S DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES SHALL BE REFERRED TO THE BUILDING DESIGNER FOR DISCUSSION BEFORE PROCEEDING WITH THE WORK.
- DESIGN AND CONSTRUCTION TO COMPLY WITH CURRENT STANDARD BUILDING BY-LAWS, BUILDING ACT, BUILDING AMENDMENT ACT, BUILDING AND OTHER LEGISLATION AMENDMENT ACT, QUEENSLAND DEVELOPMENT CODE, BUILDING CODE OF AUSTRALIA, CURRENT AUSTRALIAN STANDARDS, STATUTORY REQUIREMENTS, ORDINANCES, LOCAL GOVERNMENT REQUIREMENTS, RELEVANT BUILDING AUTHORITIES AND ALL CONTRACT DOCUMENTATION.
- CARRY OUT ALL WORK IN A SAFE MANNER IN ACCORDANCE WITH APPLICABLE STATUTORY REGULATIONS, BY-LAWS OR RULES. COMPLY WITH RELEVANT STATE OCCUPATIONAL HEALTH AND SAFETY ACTS INCLUDING ASSOCIATED REGULATIONS AND CODES OF PRACTISE. CONTRACTOR IS RESPONSIBLE FOR OCCUPATIONAL HEALTH AND SAFETY OF SITE PERSONNEL AND GENERAL PUBLIC IN ACCORDANCE WITH LEGISLATIVE REQUIREMENTS, INDUSTRIAL AGREEMENTS AND ACCEPTED INDUSTRY PRACTISE.
- TIMBER CONSTRUCTION TO COMPLY WITH AS1720. DOMESTIC TIMBER CONSTRUCTION IN NON-CYCLONIC LOCATIONS SHALL BE IN ACCORDANCE WITH AS1684.
- ALL BRICKWORK AND BLOCKWORK SHALL BE IN ACCORDANCE WITH AS3700.
- ALL PROPRIETARY PRODUCTS AND SYSTEMS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATION AND INSTRUCTIONS.
- GARAGE DOORS TO COMPLY WITH THE ABCB HOUSING PROVISION PART 2.2. - GARAGE DOORS AND OTHER LARGE ACCESS DOORS IN OPENINGS NOT MORE THAN 3M IN HEIGHT IN EXTERNAL WALLS OF BUILDINGS DETERMINED AS BEING LOCATED IN WIND REGION C OR D IN ACCORDANCE WITH FIGURE 2.2.3 : AS/NZS 4505. WHEN BUILDING IN A CORROSIVE ENVIRONMENT, CORROSION PROTECTION IS TO COMPLY WITH SECTION 6.3.9 OF THE ABCB HOUSING PROVISIONS
- THESE DRAWINGS ARE THE COPYRIGHT OF THE DESIGN HOUSE NQ AND MAY NOT BE USED, RETAINED OR REPRODUCED WITHOUT WRITTEN AUTHORITY.
- THESE DRAWINGS ARE FOR THE PURPOSE OF GAINING A BUILDING APPROVAL ONLY.

CLASS 1 & 2 BUILDINGS OR ASSESSABLE AND SELF-ASSESSABLE RENOVATIONS

LIGHTING - ENERGY EFFICIENT LIGHTING - WHICH IS A GLOBE WITH A MINIMUM OUTPUT OF 30 LUMENS/WATT INSTALLED TO A MINIMUM OF 80% OF THE TOTAL FIXED INTERNAL LIGHTING. EXCLUDING LAMPS RADIATING HEAT IN BATHROOMS.

NEW AND REPLACEMENT AIR-CONDITIONING TO HAVE ENERGY EFFICIENCY RATING TO MINIMUM 2.9

IN AREAS SERVICED BY A WATER SERVICE PROVIDER:-

- * SHOWER ROSES IN A AREA WITH A RETICULATED WATER SERVICE MUST BE MIN 3 STAR WELS RATED.
- * ALL TOILET CISTERNS MUST HAVE A DUAL FLUSH FUNCTION AND HAVE A MIN. OF 4 STAR WELS RATING WHICH MUST BE COMPATABLE WITH THE SIZE OF THE TOILET BOWL.
- * ALL TAPS SERVING LAUNDRY TUBS, KITCHEN SINKS AND BATHROOM BASINS MUST HAVE A 3 STAR WELS RATING.

(WELS - WATER EFFICIENCY LABELLING AND STANDARDS)

(QDC - QUEENSLAND DEVELOPEMENT CODE)

(MP - MANDATORY PART)

SUSTAINABLE BUILDING REQUIREMENTS @ 1 MARCH 2009 - CLASS 1 BUILDINGS

NEW WORK - HOT WATER SYSTEMS MUST BE SUPPLIED BY A:-

- SOLAR HOT WATER SYSTEM, OR HEAT PUMP HOT WATER SYSTEM OR GAS HOT WATER SYSTEM.

TANKS IF REQUIRED BY LOCAL AUTHORITY:

- 5000LTR FOR DETACHED CLASS 1, 3000LTR FOR OTHER THAN CLASS 1 DETACHED AS PER QDC MP 4.2 WATER SAVINGS TARGETS:-
- TO RECIEVE A MINIMUM ROOF AREA AT LEAST 100SQM OR ONE HALF OF THE TOTAL ROOF AREA WHICHEVER IS THE LESSER.
- BE CONNECTED TO TOILET CISTERNS, WASHING MACHINE COLD WATER TAPS (OTHER THAN GREY WATER CONNS.) AND EXTERNAL USE TAPS, REFER QDC MP 4.2 FOR VARIATIONS. PLUMBER TO REFER TO QDC MP 4.2 FOR COMPLETE TANK REQUIREMENTS

15	30.07.26	SKILLION ROOF
14	27.07.26	POOL RELOCATION
13	16.07.26	CHANGES
12	15.07.26	MEDICAL CENTRE ADDITION
11	07.05.26	UNIT FLOOR AREAS
10	29.09.25	RADIUS CHANGE

9	19.09.25	CAR PARKING CHANGES
8	18.09.25	DELETE PATH / MOVE GATE
7	11.09.25	DA AMENDMENTS
6	10.06.25	MECH SCHEDULE ADDED
5	10.06.25	AREA SCHEDULES
4	06.06.25	TRAFFIC TO TCC SKETCH
3	30.05.25	SITE / TRAFFIC UPDATE
2	29.05.25	RESPONSE TO CERTIFIER
1	17.04.25	PRELIMINARY
REV ISSUE	DATE	DESCRIPTION

THE DESIGN HOUSE NQ
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QBCC LICENCE NO. 15046263
BUILDING DESIGN OPEN RISE



Project: PROPOSED MULTIPLE DWELLINGS

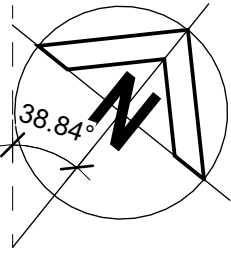
Client: OPULENCE BUILDERS GROUP

Location: 2-14 WAVERLEY LANE, DOUGLAS

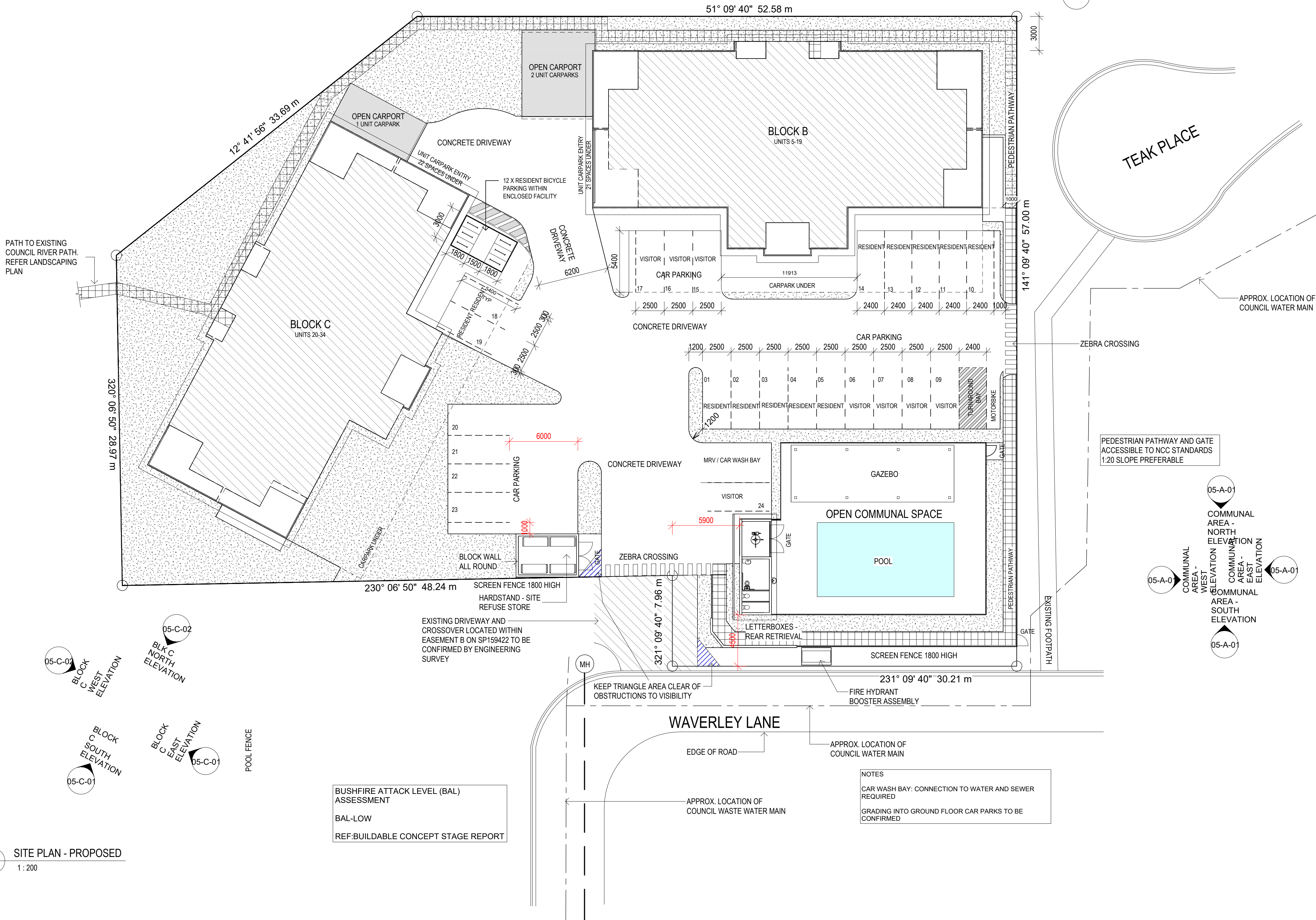
TITLE: COVER PAGE

Date: 17.04.25 Drawn: D.A.
Scale: 1 : 1 Designed: N.H

Job No.:	Drawing No.:	Rev.
2025-093-R	DD 01	15



PRELIMINARY
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PLANS ARE SUBJECT TO CHANGE TO
COMPLY WITH RELEVANT COVENANT &
BUILDING CERTIFICATION APPROVALS



1 SITE PLAN - PROPOSED
1 : 200

BUSHFIRE ATTACK LEVEL (BAL)
ASSESSMENT
BAL-LOW
REF:BUILDABLE CONCEPT STAGE REPORT

NOTES
CAR WASH BAY: CONNECTION TO WATER AND SEWER
REQUIRED
GRADING INTO GROUND FLOOR CAR PARKS TO BE
CONFIRMED

REAL PROPERTY DESCRIPTION
LOT 999 ON SP 159422
AREA OF LAND: 3869m²
LOCAL GOVERNMENT: TOWNSVILLE CITY COUNCIL

NOTES:
1. VERIFY ALL LEVELS & DIMENSIONS BEFORE
COMMENCING ANY FABRICATION
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PRECEDENCE OVER SCALED
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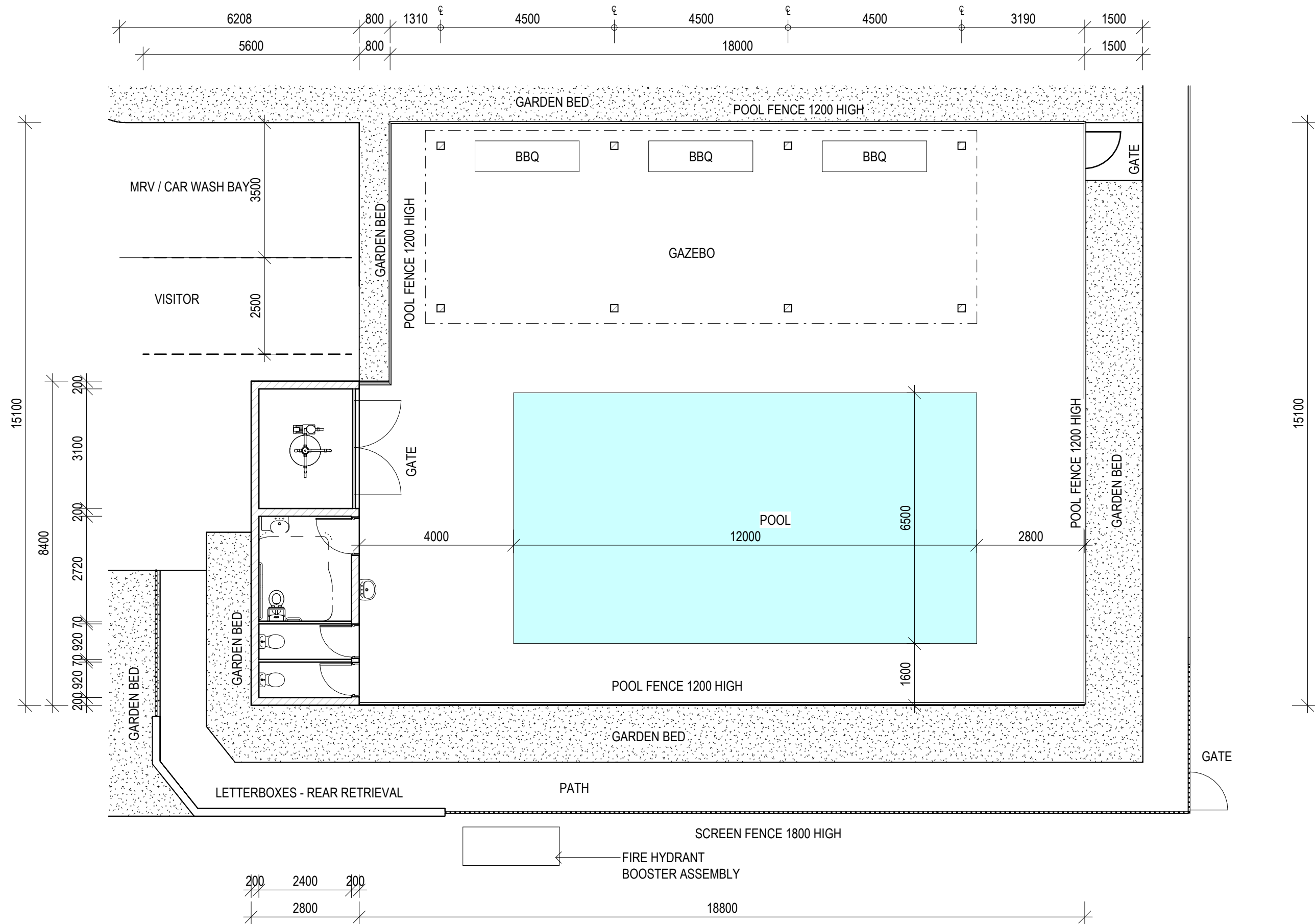
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10	29.09.25	RADIUS CHANGE
9	19.09.25	CAR PARKING CHANGES
8	18.09.25	DELETE PATH / MOVE GATE
7	11.09.25	DA AMENDMENTS
6	10.06.25	MECH SCHEDULE ADDED
REV	ISSUE	DATE
		DESCRIPTION

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BUILDING DESIGN OPEN RISE



Project: PROPOSED MULTIPLE
DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE,
DOUGLAS

TITLE: SITE PLAN -
PROPOSED
Date: 17.04.25 Drawn: D.A.
Scale: As
indicated Designed: N.H.
Job No.: Drawing No.: Rev.
2025-093-R DD 02 15



1 COMMUNAL OPEN SPACE
1 : 100

NOTES:

1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
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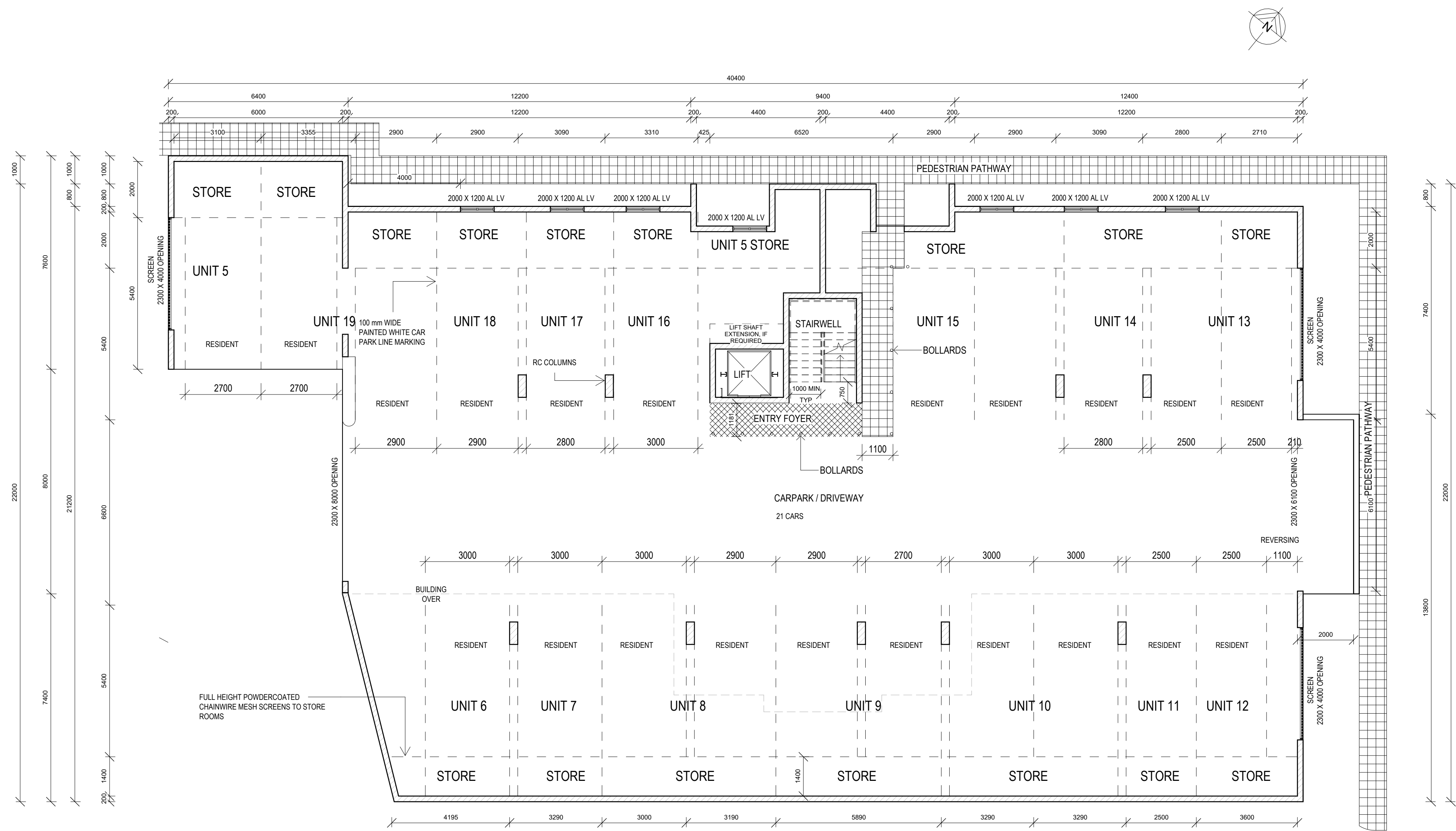
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REV	ISSUE	DATE
		DESCRIPTION

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BUILDING DESIGN OPEN RISE



Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: COMMUNAL OPEN SPACE
Date: 17.04.25 Drawn: DE
Scale: 1 : 100 Designed: NH
Job No.: 2025-093-R Drawing No.: DD 03 Rev. 15



1 BLK B - GROUND LEVEL PLAN
1 : 100

LIST OF REQUIRED FRLs
EXTERNAL WALLS: 90/60/30
EXTERNAL COLUMNS 90/-/-
INTERNAL WALLS BETWEEN SOUs AND BOUNDING COMON STAIRWAY
FIRST FLOOR: 90/90/90
SECOND FLOOR: 80/60/60
FLOORS (1st / 2nd): 90/90/90
FIRE RESISTING LIFT SHAFT: 90/90/90
NON-LOADBEARING SERVICE SHAFTS: -/90/90
PROTECTION OF UNIT DOORS: -/60/30
REF: BUILDABLE CONCEPT STAGE REPORT
BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT
BAL-LOW
REF: BUILDABLE CONCEPT STAGE REPORT

NOTES:
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		DESCRIPTION

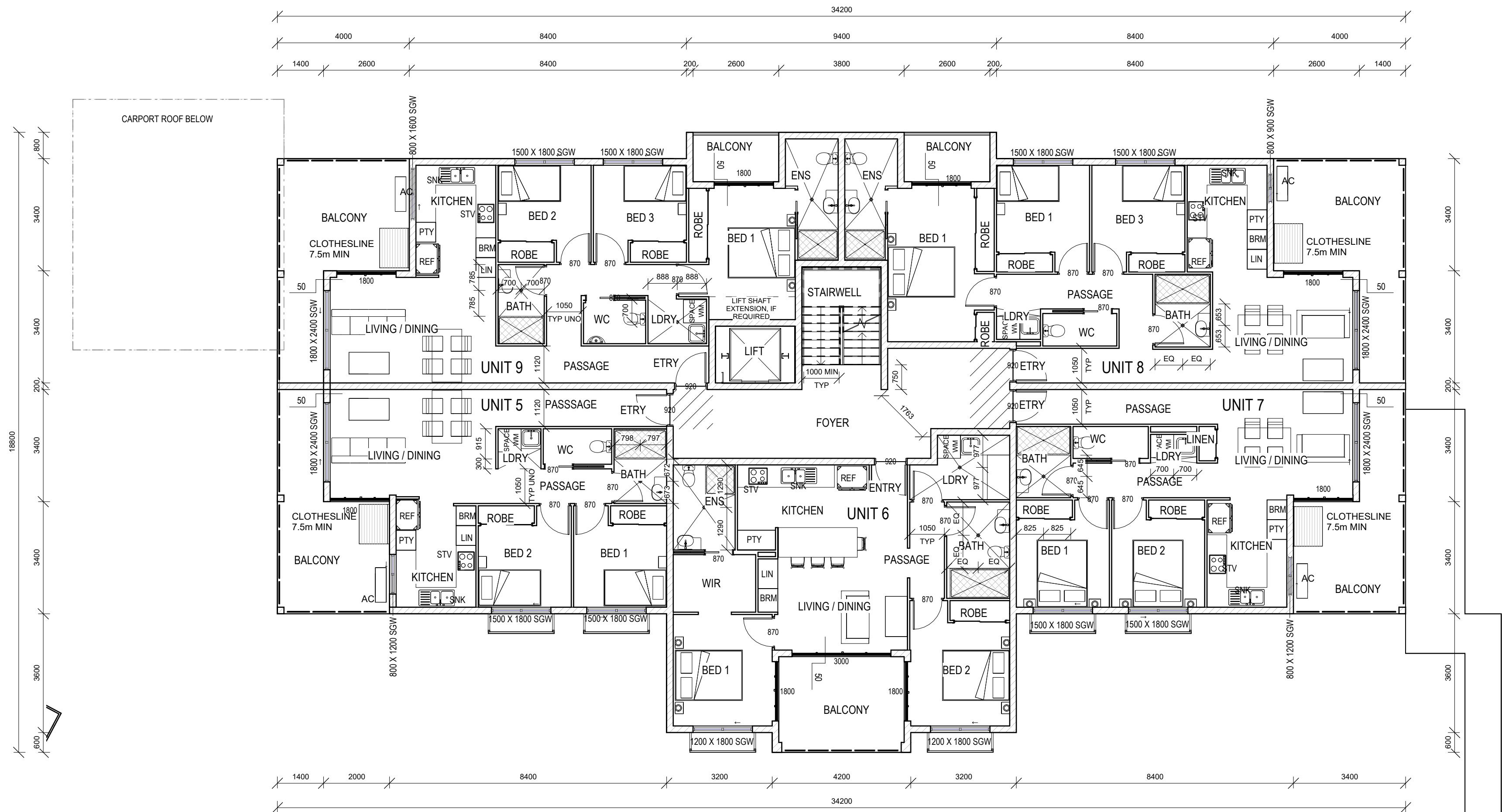
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Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: BCK B - FLOOR PLAN - GROUND LEVEL
Date: 17.04.25 Drawn: DE
Scale: 1 : 100 Designed: NH
Job No.: 2025-093-R Drawing No.: DD 04-B-01 Rev.: 15

MECHANICAL EQUIPMENT SCHEDULE	
MARK	DESCRIPTION
AC	AIR CONDITIONING CONDENSER



1 BLK B - LEVEL 01 PLAN
1:100

FLOOR SCHEDULE - UNIT 5	
Description	Area
LIVING	66 m²
PATIO	16 m²
Grand total: 2	82 m²

FLOOR SCHEDULE - UNIT 6	
Description	Area
LIVING	80 m²
PATIO	11 m²
Grand total: 2	91 m²

FLOOR SCHEDULE - UNIT 7	
Description	Area
LIVING	66 m²
PATIO	16 m²
Grand total: 2	82 m²

FLOOR SCHEDULE - UNIT 8	
Description	Area
LIVING	89 m²
PATIO	18 m²
PATIO	4 m²
Grand total: 3	112 m²

FLOOR SCHEDULE - UNIT 9	
Description	Area
LIVING	89 m²
PATIO	18 m²
PATIO	4 m²
Grand total: 3	112 m²

LIST OF REQUIRED FRLs	
EXTERNAL WALLS: 90/60/30	
EXTERNAL COLUMNS 90/-	
INTERNAL WALLS BETWEEN SOUs AND BOUNDING COMON STAIRWAY	
FIRST FLOOR:90/90/90	
SECOND FLOOR:90/90/90	
THIRD FLOOR:60/60/60	
FLOORS (1st - 3rd): 90/90/90	
FIRE RESISTING LIFT SHAFT:90/90/90	
NON-LOADBEARING SERVICE SHAFTS: -/90/90	
PROTECTION OF UNIT DOORS: -/60/30	
REF:BUILDABLE CONCEPT STAGE REPORT	
BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT	
BAL-LOW	
REF:BUILDABLE CONCEPT STAGE REPORT	
OPENINGS INTO SERVICES SHAFTS MUST BE PROTECTED PER NCC VOLUME 1, PART C4D14	
EXTERNAL BALCONY WEATHERPROOFING	
MINIMUM STEPDOWN TO BALCONIES 50mm	
1:100 FALL AWAY FROM EXTERNAL WALLS IN ACCORDANCE WITH AS 4654.2	
CONDENSATION MANAGEMENT TO NCC VOLUME 1, PART F8	

WET AREAS	
WATERPROOFING TO WET AREAS: 1: 80 MINIMUM FALL TO REQUIRED FLOOR	
WASTES IN LAUNDRY AND BATHROOMS	
WET AREA CONSTRUCTION TO AS 3740 INCL. WATER RESISTANT SURFACE MATERIALS	
CONSTRUCTION TO LIVABLE HOUSING DESIGN STANDARD, AUSTRALIAN BUILDING CODES BOARD	
SOUND TRANSMISSION AND INSULATION	
FLOORS IN CLASS 2 & 3 - R _w + C _{tr} (AIRBORNE) NOT LESS THAN 50 AND AN L _{n,w} (IMPACT) NOT MORE THAN 62.	
REF: NCC VOL. 1, PART F7D5	
WALLS IN CLASS 2 & 3 - R _w + C _{tr} (AIRBORNE) NOT LESS THAN 50.	
REF: NCC VOL. 1, PART F7D6	

NOTES:

1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
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REV	ISSUE	DATE	DESCRIPTION
15		30.07.26	SKILLION ROOF
14		27.07.26	POOL RELOCATION
13		16.07.26	CHANGES
12		15.07.26	MEDICAL CENTRE ADDITION
11		07.05.26	UNIT FLOOR AREAS
10		29.09.25	RADIUS CHANGE
9		19.09.25	CAR PARKING CHANGES
8		18.09.25	DELETE PATH / MOVE GATE
7		11.09.25	DA AMENDMENTS
6		10.06.25	MECH SCHEDULE ADDED

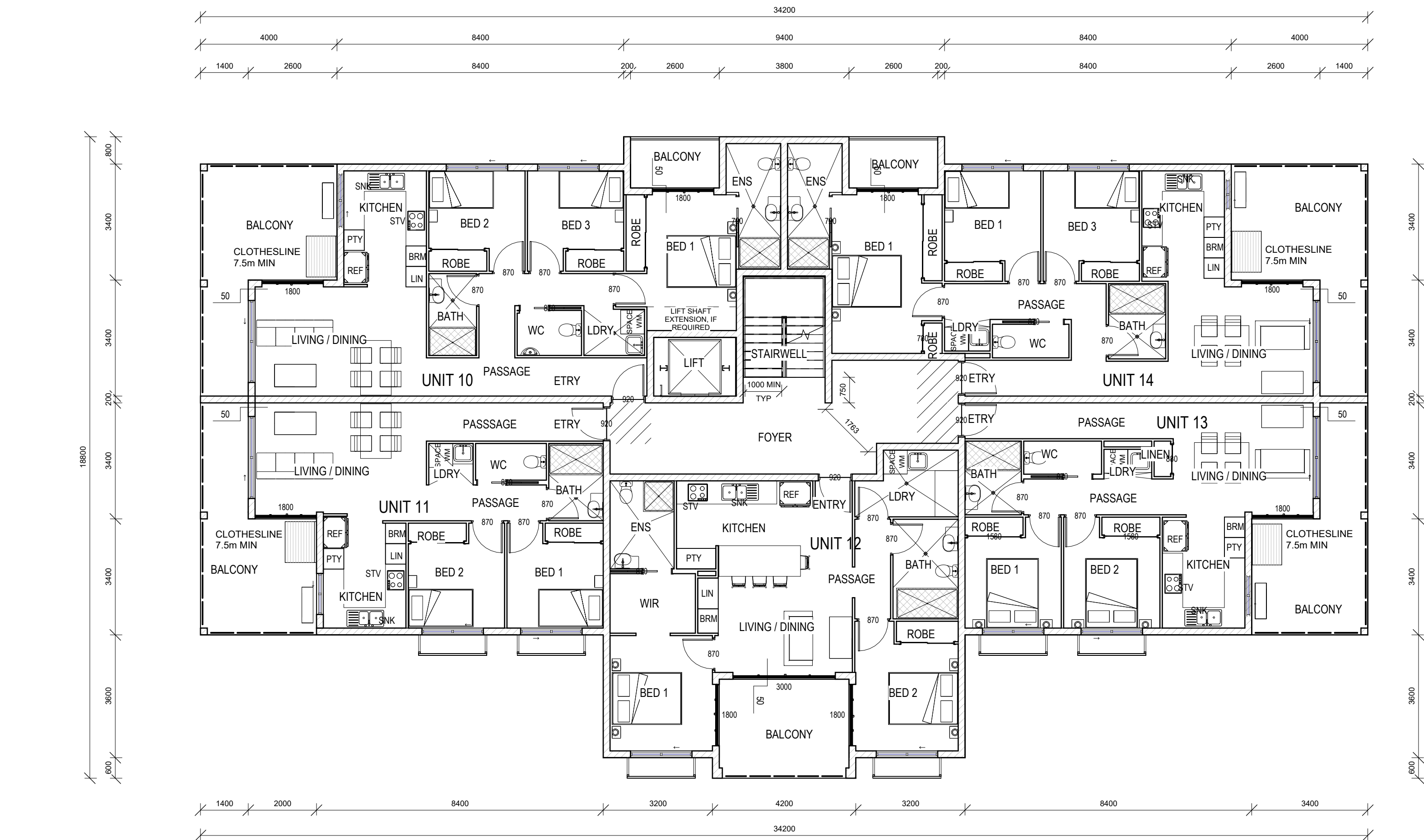
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BUILDING DESIGN OPEN RISE



Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: BCK B - FLOOR PLAN - LEVEL 1
Date: 17.04.25 Drawn: DE
Scale: 1 : 100 Designed: NH
Job No.: 2025-093-R Drawing No.: DD 04-B-02 Rev: 15

MECHANICAL EQUIPMENT SCHEDULE	
MARK	DESCRIPTION
AC	AIR CONDITIONING CONDENSER



1 BLK B - LEVEL 02 PLAN
1 : 100

FLOOR SCHEDULE - UNIT 10	
Description	Area
LIVING	89 m²
PATIO	18 m²
PATIO	4 m²
Grand total: 3	112 m²

FLOOR SCHEDULE - UNIT 11	
Description	Area
LIVING	66 m²
PATIO	16 m²
Grand total: 2	82 m²

FLOOR SCHEDULE - UNIT 12	
Description	Area
LIVING	80 m²
PATIO	11 m²
Grand total: 2	91 m²

FLOOR SCHEDULE - UNIT 13	
Description	Area
LIVING	66 m²
PATIO	16 m²
Grand total: 2	82 m²

FLOOR SCHEDULE - UNIT 14	
Description	Area
LIVING	89 m²
PATIO	18 m²
PATIO	4 m²
Grand total: 3	112 m²

LIST OF REQUIRED FRLs

EXTERNAL WALLS: 90/60/30
EXTERNAL COLUMNS 90/-/-
INTERNAL WALLS BETWEEN SOUs AND BOUNDING COMON STAIRWAY
FIRST FLOOR: 90/90/90
SECOND FLOOR: 90/90/90
THIRD FLOOR: 60/60/60
FLOORS (1st - 3rd): 90/90/90
FIRE RESISTING LIFT SHAFT: 90/90/90
NON-LOADBEARING SERVICE SHAFTS: -/90/90
PROTECTION OF UNIT DOORS: -/60/30

REF: BUILDABLE CONCEPT STAGE REPORT

BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT

BAL-LOW

REF: BUILDABLE CONCEPT STAGE REPORT

OPENINGS INTO SERVICES SHAFTS MUST BE PROTECTED PER NCC VOLUME 1, PART C4D14

EXTERNAL BALCONY WEATHERPROOFING

MINIMUM STEPDOWN TO BALCONIES 50mm

1:100 FALL AWAY FROM EXTERNAL WALLS IN ACCORDANCE WITH AS 4654.2

CONDENSATION MANAGEMENT TO NCC VOLUME 1, PART F8

WET AREAS

WATERPROOFING TO WET AREAS: 1: 80
MINIMUM FALL TO REQUIRED FLOOR
WASTES IN LAUNDRY AND BATHROOMS

WET AREA CONSTRUCTION TO AS 3740
INCL. WATER RESISTANT SURFACE MATERIALS

CONSTRUCTION TO LIVABLE HOUSING DESIGN STANDARD, AUSTRALIAN BUILDING CODES BOARD

SOUND TRANSMISSION AND INSULATION

FLOORS IN CLASS 2 & 3 – $R_w + C_{tr}$ (AIRBORNE) NOT LESS THAN 50 AND AN Ln,w (IMPACT) NOT MORE THAN 62.

REF: NCC VOL. 1, PART F7D5

WALLS IN CLASS 2 & 3 – $R_w + C_{tr}$ (AIRBORNE) NOT LESS THAN 50.

REF: NCC VOL. 1, PART F7D6

NOTES:

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11	07.05.26	UNIT FLOOR AREAS
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8	18.09.25	DELETE PATH / MOVE GATE
7	11.09.25	DA AMENDMENTS
6	10.06.25	MECH SCHEDULE ADDED
REV	ISSUE	DATE
		DESCRIPTION

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BUILDING DESIGN OPEN RISE



Project: PROPOSED MULTIPLE DWELLINGS

Client: OPULENCE BUILDERS GROUP

Location: 2-14 WAVERLEY LANE, DOUGLAS

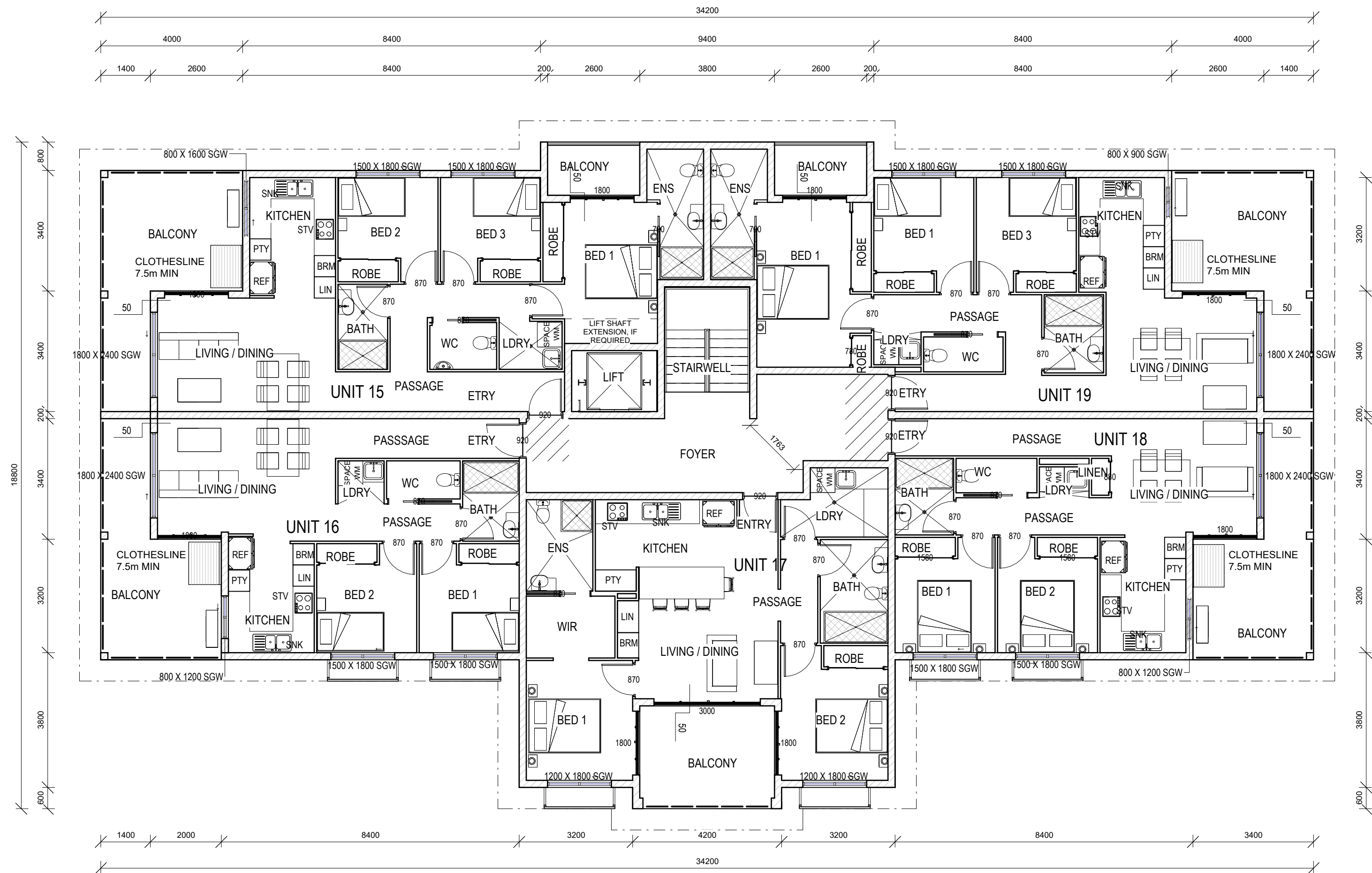
TITLE: BCK B - FLOOR PLAN - LEVEL 2

Date: 17.04.25 Drawn: DE

Scale: 1 : 100 Designed: NH

Job No.: 2025-093-R Drawing No.: DD 04-B-03 Rev. 15

MECHANICAL EQUIPMENT SCHEDULE	
MARK	DESCRIPTION
AC	AIR CONDITIONING CONDENSER



1 BLK B - LEVEL 03 PLAN
1 : 100

FLOOR SCHEDULE - UNIT 15	
Description	Area
LIVING	89 m²
PATIO	18 m²
PATIO	4 m²
Grand total: 3	112 m²

FLOOR SCHEDULE - UNIT 16	
Description	Area
LIVING	66 m²
PATIO	16 m²
Grand total: 2	82 m²

FLOOR SCHEDULE - UNIT 17	
Description	Area
LIVING	80 m²
PATIO	11 m²
Grand total: 2	91 m²

FLOOR SCHEDULE - UNIT 18	
Description	Area
LIVING	66 m²
PATIO	16 m²
Grand total: 2	82 m²

FLOOR SCHEDULE - UNIT 19	
Description	Area
LIVING	89 m²
PATIO	18 m²
PATIO	4 m²
Grand total: 3	112 m²

LIST OF REQUIRED FRLs	
EXTERNAL WALLS:	90/60/30
EXTERNAL COLUMNS:	90/-/-
INTERNAL WALLS BETWEEN SOUs AND BOUNDING COMON STAIRWAY	
FIRST FLOOR:	90/90/90
SECOND FLOOR:	90/90/90
THIRD FLOOR:	60/60/60
FLOORS (1st - 3rd):	90/90/90
FIRE RESISTING LIFT SHAFT:	90/90/90
NON-LOADBEARING SERVICE SHAFTS:	-/90/90
PROTECTION OF UNIT DOORS:	-/60/30
REF:BUILDABLE CONCEPT STAGE REPORT	
BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT	
BAL-LOW	
REF:BUILDABLE CONCEPT STAGE REPORT	
OPENINGS INTO SERVICES SHAFTS MUST BE PROTECTED PER NCC VOLUME 1, PART C4D14	
EXTERNAL BALCONY WEATHERPROOFING	
MINIMUM STEPDOWN TO BALCONIES 50mm	
1:100 FALL AWAY FROM EXTERNAL WALLS IN ACCORDANCE WITH AS 4654.2	
CONDENSATION MANAGEMENT TO NCC VOLUME 1, PART F8	

WET AREAS	
WATERPROOFING TO WET AREAS: 1: 80 MINIMUM FALL TO REQUIRED FLOOR WASTES IN LAUNDRY AND BATHROOMS	
WET AREA CONSTRUCTION TO AS 3740 INCL. WATER RESISTANT SURFACE MATERIALS	
CONSTRUCTION TO LIVABLE HOUSING DESIGN STANDARD, AUSTRALIAN BUILDING CODES BOARD	
SOUND TRANSMISSION AND INSULATION	
FLOORS IN CLASS 2 & 3 – R _w + C _{tr} (AIRBORNE) NOT LESS THAN 50 AND AN L _{n,w} (IMPACT) NOT MORE THAN 62.	
REF: NCC VOL. 1, PART F7D5	
WALLS IN CLASS 2 & 3 - R _w + C _{tr} (AIRBORNE) NOT LESS THAN 50.	
REF: NCC VOL. 1, PART F7D6	

NOTES:			
1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION			
2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED			
3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION			
4. THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT			
5. THIS DRAWING IS COPYRIGHT TO THE DESIGN HOUSE NQ pty ltd & IS NOT TO BE COPIED OR DUPLICATED IN PART OR FULL WITH OUT THE PERMISSION OF THE DESIGN HOUSE NQ pty ltd			
REV	ISSUE	DATE	DESCRIPTION

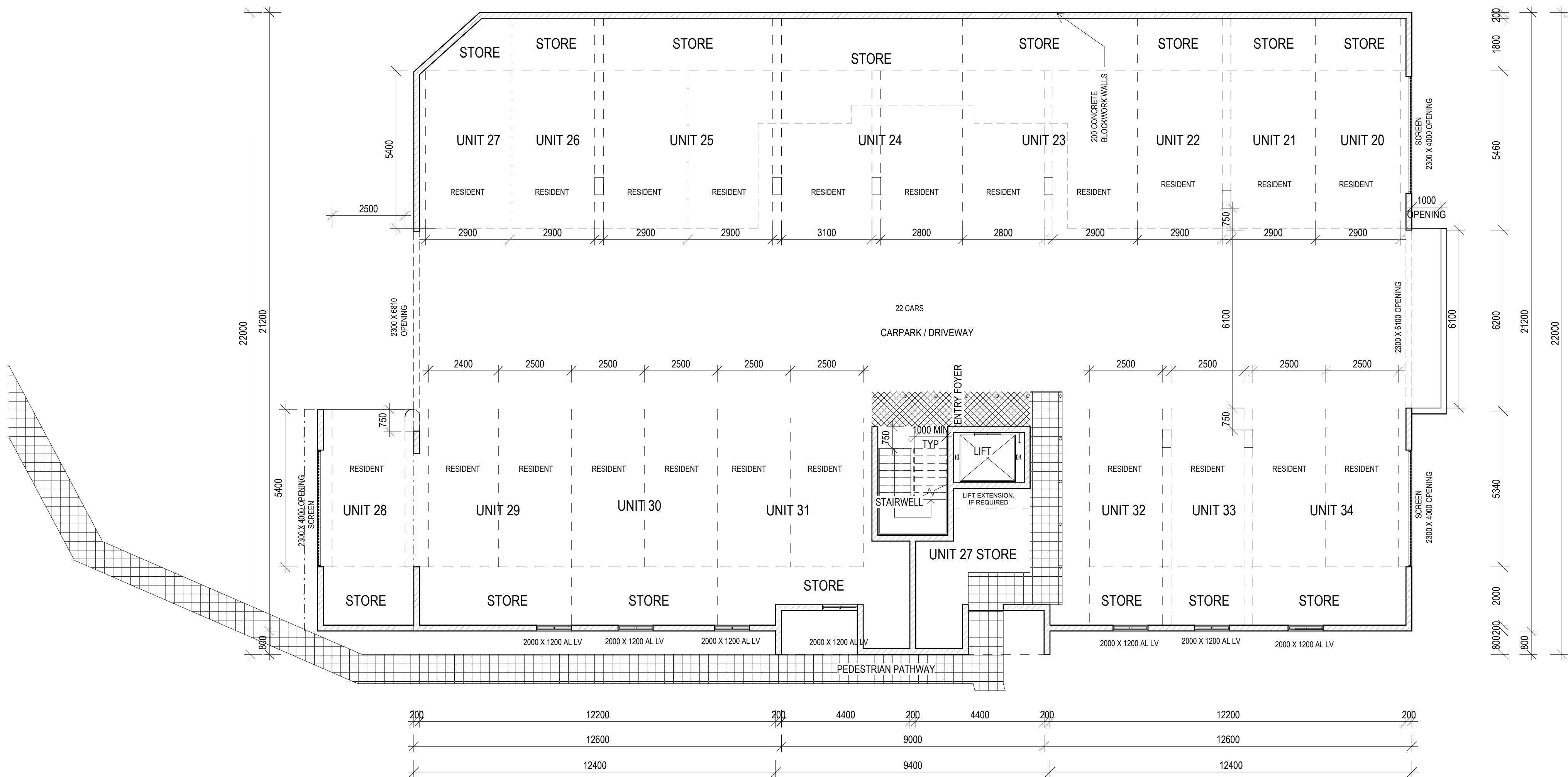
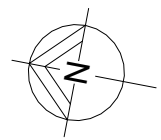
15	30.07.26	SKILLION ROOF
14	27.07.26	POOL RELOCATION
13	16.07.26	CHANGES
12	15.07.26	MEDICAL CENTRE ADDITION
11	07.05.26	UNIT FLOOR AREAS
10	29.09.25	RADIUS CHANGE
9	19.09.25	CAR PARKING CHANGES
8	18.09.25	DELETE PATH / MOVE GATE
7	11.09.25	DA AMENDMENTS
6	10.06.25	MECH SCHEDULE ADDED

THE DESIGN HOUSE NQ
m: 0423 623 647
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e: nathan@thedesignhousenq.com.au
w: www.thedesignhousenq.com.au
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QBCC LICENCE NO. 15046263
BUILDING DESIGN OPEN RISE



Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: BCK B - FLOOR PLAN - LEVEL 3
Date: 17.04.25 Drawn: DE
Scale: 1 : 100 Designed: NH
Job No.: 2025-093-R Drawing No.: DD 04-B-04 Rev. 15



1 BLK C - GROUND LEVEL PLAN
1 : 100

LIST OF REQUIRED FRLs
EXTERNAL WALLS: 90/60/30
EXTERNAL COLUMNS 90/-/-
INTERNAL WALLS BETWEEN SOUs AND BOUNDING COMON STAIRWAY
FIRST FLOOR: 90/90/90
SECOND FLOOR: 90/90/90
THIRD FLOOR: 60/60/60
FLOORS (1st - 3rd): 90/90/90
FIRE RESISTING LIFT SHAFT: 90/90/90
NON-LOADBEARING SERVICE SHAFTS: -/90/90
PROTECTION OF UNIT DOORS: -/60/30
REF: BUILDABLE CONCEPT STAGE REPORT
BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT
BAL-LOW

REF: BUILDABLE CONCEPT STAGE REPORT

NOTES:

1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
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7	11.09.25	DA AMENDMENTS
6	10.06.25	MECH SCHEDULE ADDED
REV	ISSUE	DATE
		DESCRIPTION

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BUILDING DESIGN OPEN RISE



Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: BLK C - FLOOR PLAN - GROUND LEVEL
Date: 17.04.25 Drawn: Author
Scale: 1 : 100 Designed: Designer

Job No.:	Drawing No.:	Rev.
2025-093-R	DD 04-C-01	15

MECHANICAL EQUIPMENT SCHEDULE

MARK	DESCRIPTION
AC	AIR CONDITIONING CONDENSER

FLOOR SCHEDULE - UNIT 20

Description	Area
LIVING	66 m²
PATIO	16 m²
Grand total: 2	82 m²

FLOOR SCHEDULE - UNIT 21

Description	Area
GARAGE	281 m²
GARAGE	61 m²
GARAGE	9 m²
GARAGE	231 m²
GARAGE	13 m²
Grand total: 2	595 m²

FLOOR SCHEDULE - UNIT 22

Description	Area
LIVING	80 m²
PATIO	11 m²
Grand total: 2	91 m²

FLOOR SCHEDULE - UNIT 23

Description	Area
LIVING	89 m²
PATIO	18 m²
PATIO	4 m²
Grand total: 3	112 m²

FLOOR SCHEDULE - UNIT 24

Description	Area
LIVING	89 m²
PATIO	4 m²
PATIO	18 m²
Grand total: 3	112 m²

LIST OF REQUIRED FRLs

EXTERNAL WALLS: 90/60/30
EXTERNAL COLUMNS 90/-/-
INTERNAL WALLS BETWEEN SOUs AND BOUNDING COMON STAIRWAY
FIRST FLOOR: 90/90/90
SECOND FLOOR: 90/90/90
THIRD FLOOR: 60/60/60
FLOORS (1st - 3rd): 90/90/90
FIRE RESISTING LIFT SHAFT: 90/90/90
NON-LOADBEARING SERVICE SHAFTS: -/90/90
PROTECTION OF UNIT DOORS: -/60/30

REF: BUILDABLE CONCEPT STAGE REPORT

BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT

BAL-LOW

REF: BUILDABLE CONCEPT STAGE REPORT

OPENINGS INTO SERVICES SHAFTS MUST BE PROTECTED PER NCC VOLUME 1, PART C4D14

EXTERNAL BALCONY WEATHERPROOFING

MINIMUM STEPDOWN TO BALCONIES 50mm

1:100 FALL AWAY FROM EXTERNAL WALLS IN ACCORDANCE WITH AS 4654.2

CONDENSATION MANAGEMENT TO NCC VOLUME 1, PART F8

WET AREAS

WATERPROOFING TO WET AREAS: 1: 80
MINIMUM FALL TO REQUIRED FLOOR
WASTES IN LAUNDRY AND BATHROOMS

WET AREA CONSTRUCTION TO AS 3740
INCL. WATER RESISTANT SURFACE MATERIALS

CONSTRUCTION TO LIVABLE HOUSING DESIGN STANDARD, AUSTRALIAN BUILDING CODES BOARD

SOUND TRANSMISSION AND INSULATION

FLOORS IN CLASS 2 & 3 – R_w + C_{TR} (AIRBORNE) NOT LESS THAN 50 AND AN LN,W (IMPACT) NOT MORE THAN 62.

REF: NCC VOL. 1, PART F7D5

WALLS IN CLASS 2 & 3 - R_w + C_{TR} (AIRBORNE) NOT LESS THAN 50.

REF: NCC VOL. 1, PART F7D6

1

BLK C - LEVEL 01 PLAN

1:100

NOTES:

1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION

2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED

3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION

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15	30.07.26	SKILLION ROOF	
14	27.07.26	POOL RELOCATION	
13	16.07.26	CHANGES	
12	15.07.26	MEDICAL CENTRE ADDITION	
11	07.05.26	UNIT FLOOR AREAS	
10	29.09.25	RADIUS CHANGE	
9	19.09.25	CAR PARKING CHANGES	
8	18.09.25	DELETE PATH / MOVE GATE	
7	11.09.25	DA AMENDMENTS	
6	10.06.25	MECH SCHEDULE ADDED	
REV	ISSUE	DATE	DESCRIPTION

THE DESIGN HOUSE NQ

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w: www.thedesignhousenq.com.au

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QBCC LICENCE NO. 15046263

BUILDING DESIGN OPEN RISE

The Design House NQ

Project: PROPOSED MULTIPLE DWELLINGS

Client: OPULENCE BUILDERS GROUP

Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: BLK C - FLOOR PLAN - LEVEL 01

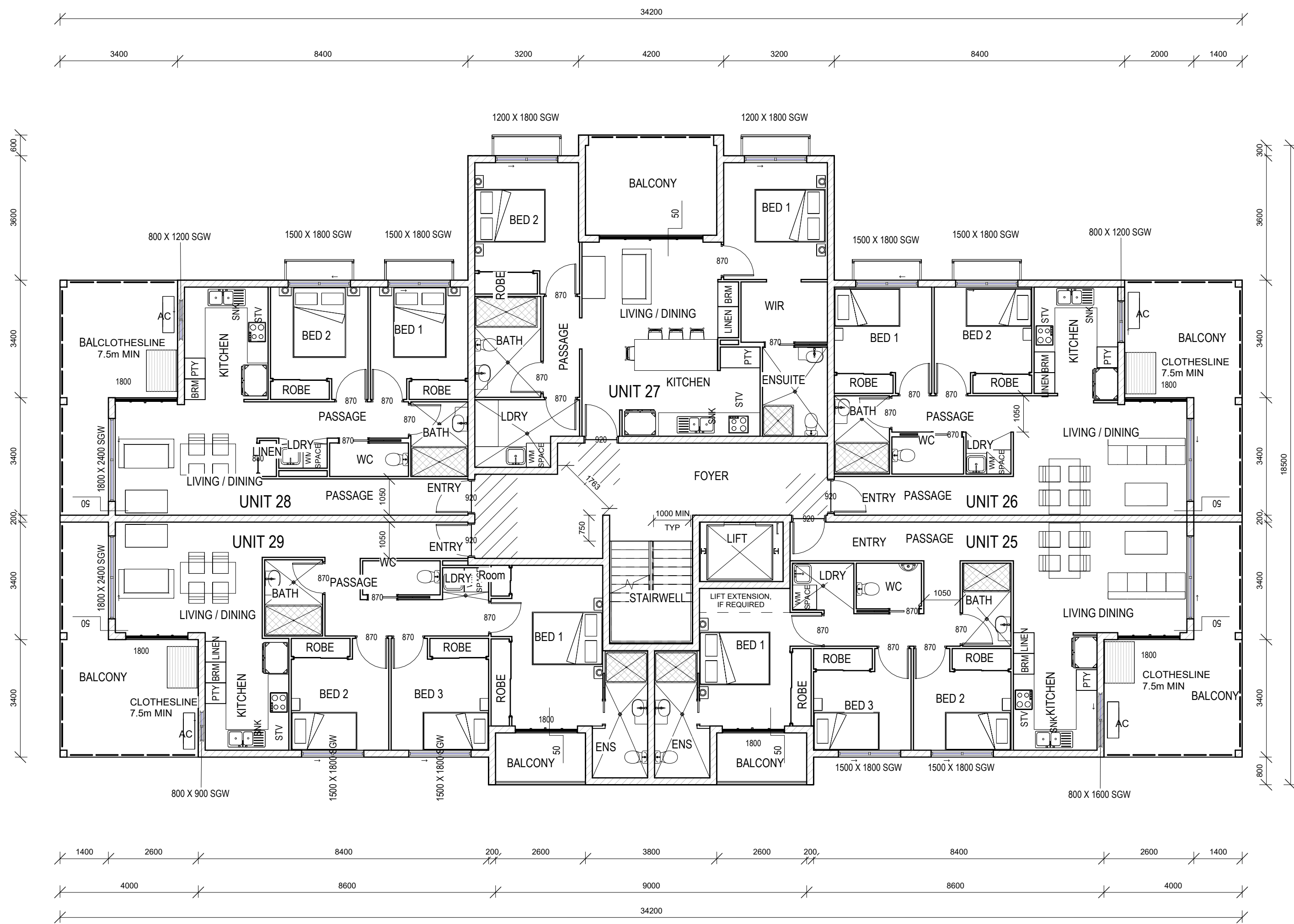
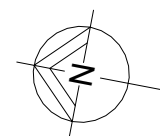
Date: 17.04.25 Drawn: DE

Scale: 1 : 100 Designed: NH

Job No.: 2025-093-R Drawing No.: DD 04-C-02 Rev. 15

Document Set ID: 28742060
Version: 1, Version Date: 18/09/2026

MECHANICAL EQUIPMENT SCHEDULE	
MARK	DESCRIPTION
AC	AIR CONDITIONING CONDENSER



1 BLK C - LEVEL 02 PLAN
1 : 100

FLOOR SCHEDULE - UNIT 25	
Description	Area
LIVING	89 m²
PATIO	4 m²
PATIO	18 m²
Grand total: 3	112 m²

FLOOR SCHEDULE - UNIT 26	
Description	Area
LIVING	66 m²
PATIO	16 m²
Grand total: 2	82 m²

FLOOR SCHEDULE - UNIT 27	
Description	Area
LIVING	80 m²
PATIO	11 m²
Grand total: 2	91 m²

FLOOR SCHEDULE - UNIT 28	
Description	Area
LIVING	66 m²
PATIO	16 m²
Grand total: 2	82 m²

FLOOR SCHEDULE - UNIT 29	
Description	Area
LIVING	89 m²
PATIO	18 m²
PATIO	4 m²
Grand total: 3	112 m²

LIST OF REQUIRED FRLs
EXTERNAL WALLS: 90/60/30
EXTERNAL COLUMNS 90/-/-
INTERNAL WALLS BETWEEN SOUs AND BOUNDING COMON STAIRWAY
FIRST FLOOR: 90/90/90
SECOND FLOOR: 90/90/90
THIRD FLOOR: 60/60/60
FLOORS (1st - 3rd): 90/90/90
FIRE RESISTING LIFT SHAFT: 90/90/90
NON-LOADBEARING SERVICE SHAFTS: -/90/90
PROTECTION OF UNIT DOORS: -/60/30

REF: BUILDABLE CONCEPT STAGE REPORT

BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT

BAL-LOW

REF: BUILDABLE CONCEPT STAGE REPORT

OPENINGS INTO SERVICES SHAFTS MUST BE PROTECTED PER NCC VOLUME 1, PART C4D14

EXTERNAL BALCONY WEATHERPROOFING
MINIMUM STEPDOWN TO BALCONIES 50mm

1:100 FALL AWAY FROM EXTERNAL WALLS IN ACCORDANCE WITH AS 4654.2

CONDENSATION MANAGEMENT TO NCC VOLUME 1, PART F8

WET AREAS
WATERPROOFING TO WET AREAS: 1: 80 MINIMUM FALL TO REQUIRED FLOOR WASTES IN LAUNDRY AND BATHROOMS
WET AREA CONSTRUCTION TO AS 3740 INCL. WATER RESISTANT SURFACE MATERIALS
CONSTRUCTION TO LIVABLE HOUSING DESIGN STANDARD, AUSTRALIAN BUILDING CODES BOARD
SOUND TRANSMISSION AND INSULATION
FLOORS IN CLASS 2 & 3 – $R_w + C_{tr}$ (AIRBORNE) NOT LESS THAN 50 AND AN L_n, W (IMPACT) NOT MORE THAN 62.
REF: NCC VOL. 1, PART F7D5
WALLS IN CLASS 2 & 3 – $R_w + C_{tr}$ (AIRBORNE) NOT LESS THAN 50.
REF: NCC VOL. 1, PART F7D6

NOTES:
1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
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REV	ISSUE	DATE	DESCRIPTION
15		30.07.26	SKILLION ROOF
14		27.07.26	POOL RELOCATION
13		16.07.26	CHANGES
12		15.07.26	MEDICAL CENTRE ADDITION
11		07.05.26	UNIT FLOOR AREAS
10		29.09.25	RADIUS CHANGE
9		19.09.25	CAR PARKING CHANGES
8		18.09.25	DELETE PATH / MOVE GATE
7		11.09.25	DA AMENDMENTS
6		10.06.25	MECH SCHEDULE ADDED

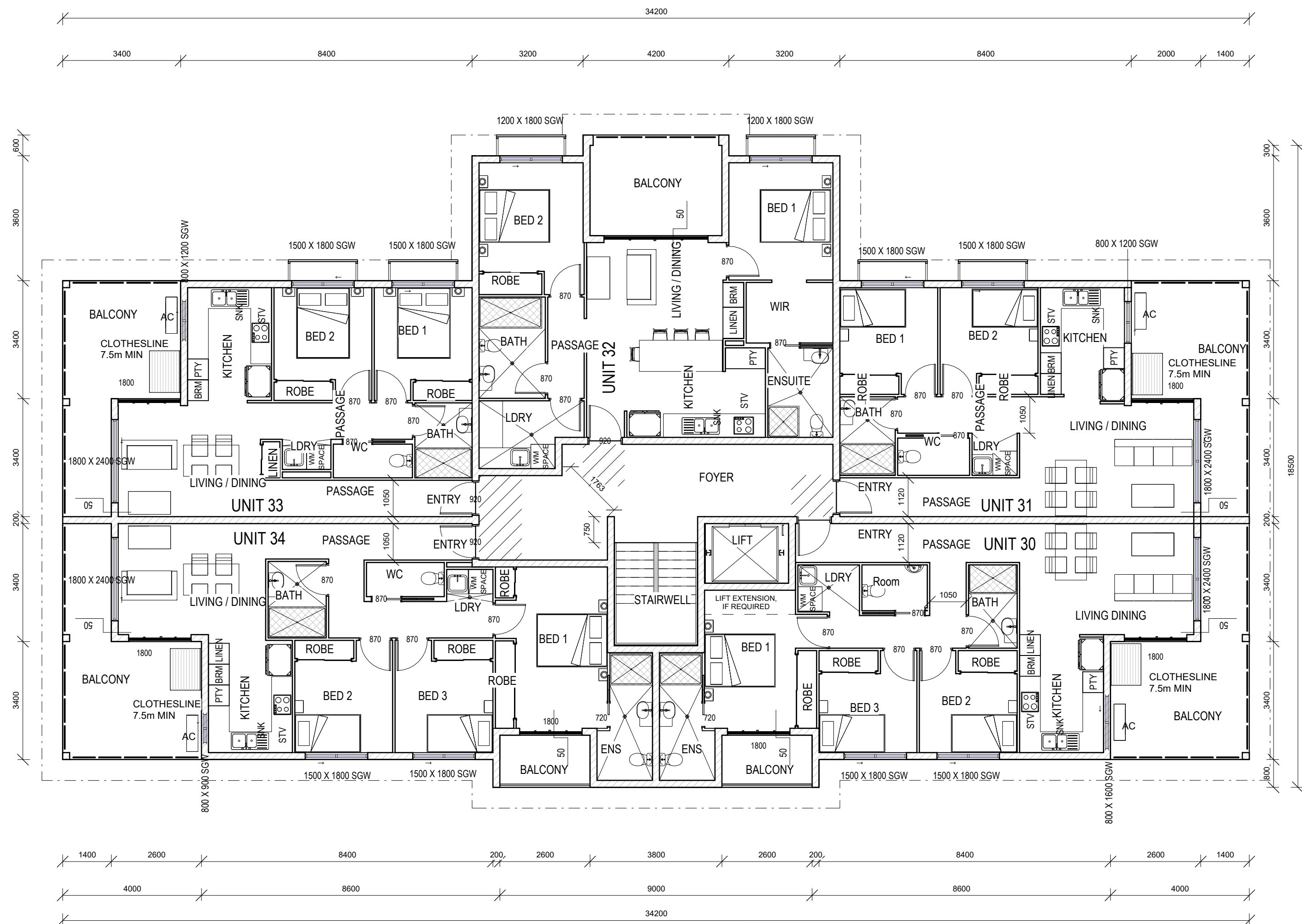
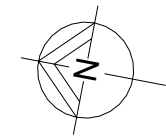
THE DESIGN HOUSE NQ
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w: www.thedesignhousenq.com.au
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QBCC LICENCE NO. 15046263
BUILDING DESIGN OPEN RISE



Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: BLK C - FLOOR PLAN - LEVEL 02
Date: 17.04.25 Drawn: DE
Scale: 1 : 100 Designed: NH
Job No.: 2025-093-R Drawing No.: DD 04-C-03 Rev. 15

MECHANICAL EQUIPMENT SCHEDULE	
MARK	DESCRIPTION
AC	AIR CONDITIONING CONDENSER



1 BLK C - LEVEL 03 PLAN
1 : 100

FLOOR SCHEDULE - UNIT 30

Description	Area
LIVING	89 m²
PATIO	4 m²
PATIO	18 m²
Grand total: 3	112 m²

FLOOR SCHEDULE - UNIT 31

Description	Area
LIVING	66 m²
PATIO	16 m²
Grand total: 2	82 m²

FLOOR SCHEDULE - UNIT 32

Description	Area
LIVING	80 m²
PATIO	11 m²
Grand total: 2	91 m²

FLOOR SCHEDULE - UNIT 33

Description	Area
LIVING	66 m²
PATIO	16 m²
Grand total: 2	82 m²

FLOOR SCHEDULE - UNIT 34

Description	Area
LIVING	89 m²
PATIO	18 m²
PATIO	4 m²
Grand total: 3	112 m²

LIST OF REQUIRED FRLs

EXTERNAL WALLS: 90/60/30
EXTERNAL COLUMNS 90/-/-
INTERNAL WALLS BETWEEN SOUs AND BOUNDING COMON STAIRWAY
FIRST FLOOR: 90/90/90
SECOND FLOOR: 90/90/90
THIRD FLOOR: 60/60/60
FLOORS (1st - 3rd): 90/90/90
FIRE RESISTING LIFT SHAFT: 90/90/90
NON-LOADBEARING SERVICE SHAFTS: -/90/90
PROTECTION OF UNIT DOORS: -/60/30

REF: BUILDABLE CONCEPT STAGE REPORT

BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT

BAL-LOW

REF: BUILDABLE CONCEPT STAGE REPORT

OPENINGS INTO SERVICES SHAFTS MUST BE PROTECTED PER NCC VOLUME 1, PART C4D14

EXTERNAL BALCONY WEATHERPROOFING

MINIMUM STEPDOWN TO BALCONIES 50mm

1:100 FALL AWAY FROM EXTERNAL WALLS IN ACCORDANCE WITH AS 4654.2

CONDENSATION MANAGEMENT TO NCC VOLUME 1, PART F8

WET AREAS

WATERPROOFING TO WET AREAS: 1: 80 MINIMUM FALL TO REQUIRED FLOOR WASTES IN LAUNDRY AND BATHROOMS

WET AREA CONSTRUCTION TO AS 3740 INCL. WATER RESISTANT SURFACE MATERIALS

CONSTRUCTION TO LIVABLE HOUSING DESIGN STANDARD, AUSTRALIAN BUILDING CODES BOARD

SOUND TRANSMISSION AND INSULATION

FLOORS IN CLASS 2 & 3 - $R_w + C_{tr}$ (AIRBORNE) NOT LESS THAN 50 AND AN L_n, W (IMPACT) NOT MORE THAN 62.

REF: NCC VOL. 1, PART F7D5

WALLS IN CLASS 2 & 3 - $R_w + C_{tr}$ (AIRBORNE) NOT LESS THAN 50.

REF: NCC VOL. 1, PART F7D6

NOTES:

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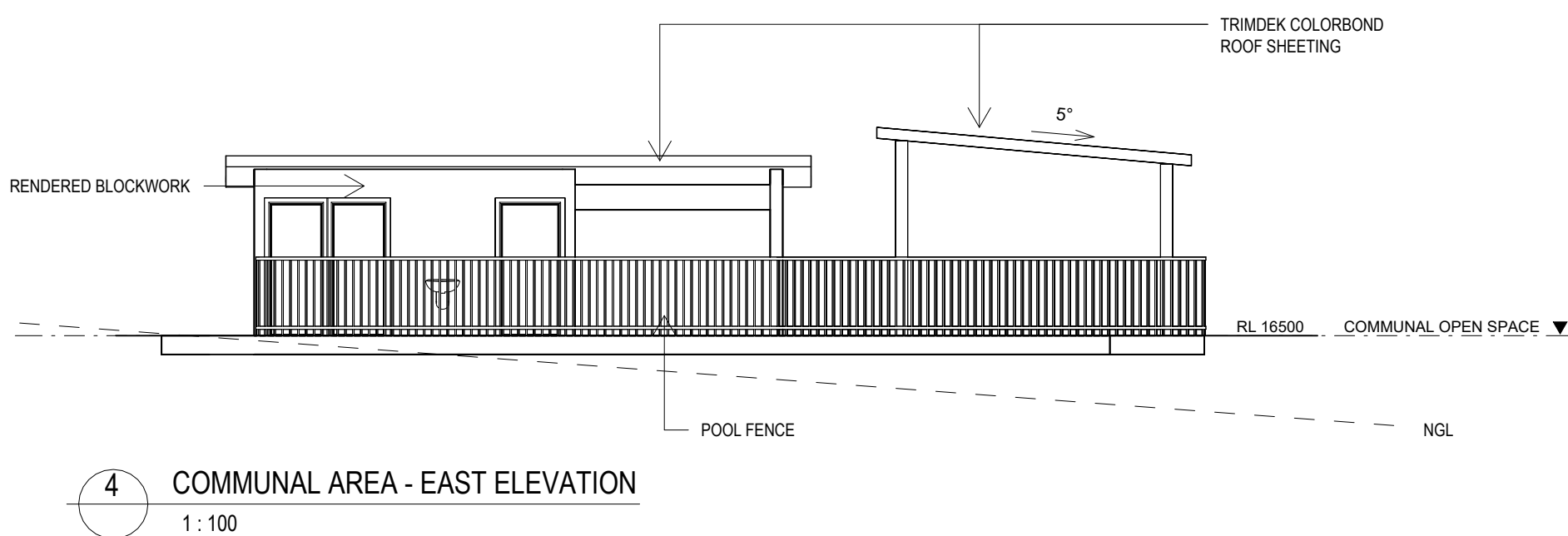
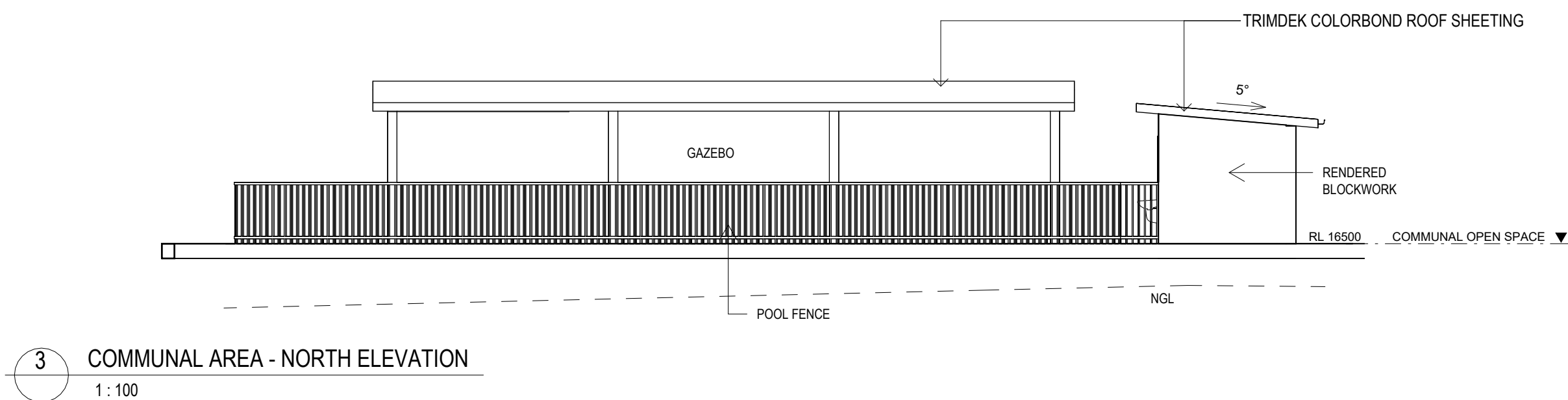
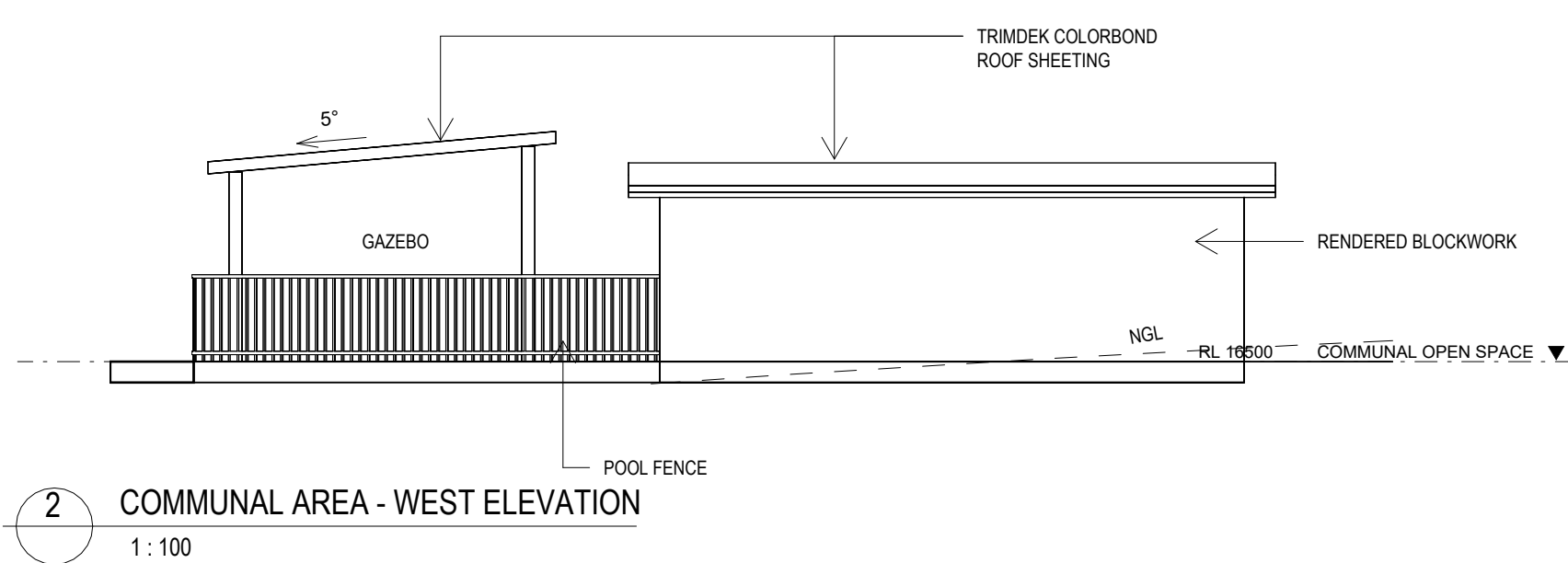
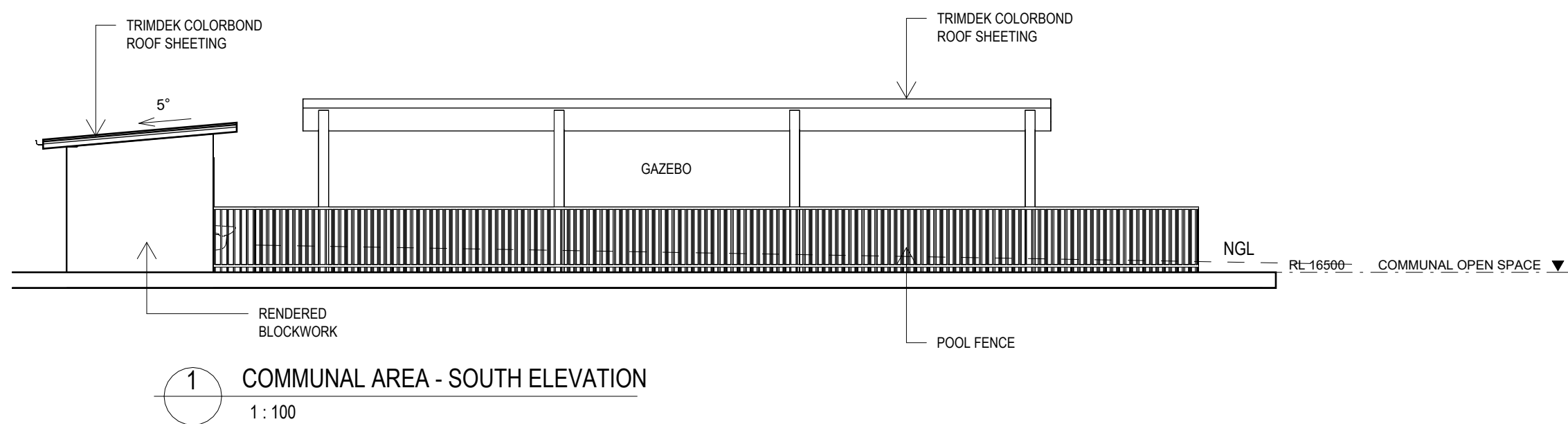
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11	07.05.26	UNIT FLOOR AREAS
10	29.09.25	RADIUS CHANGE
9	19.09.25	CAR PARKING CHANGES
8	18.09.25	DELETE PATH / MOVE GATE
7	11.09.25	DA AMENDMENTS
6	10.06.25	MECH SCHEDULE ADDED
REV	ISSUE	DATE
		DESCRIPTION

THE DESIGN HOUSE NQ
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w: www.thedesignhousenq.com.au
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QBCC LICENCE NO. 15046263
BUILDING DESIGN OPEN RISE



Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: BLK C - FLOOR PLAN - LEVEL 03
Date: 17.04.25 Drawn: DE
Scale: 1 : 100 Designed: NH
Job No.: 2025-093-R Drawing No.: DD 04-C-04 Rev. 15



NOTES:
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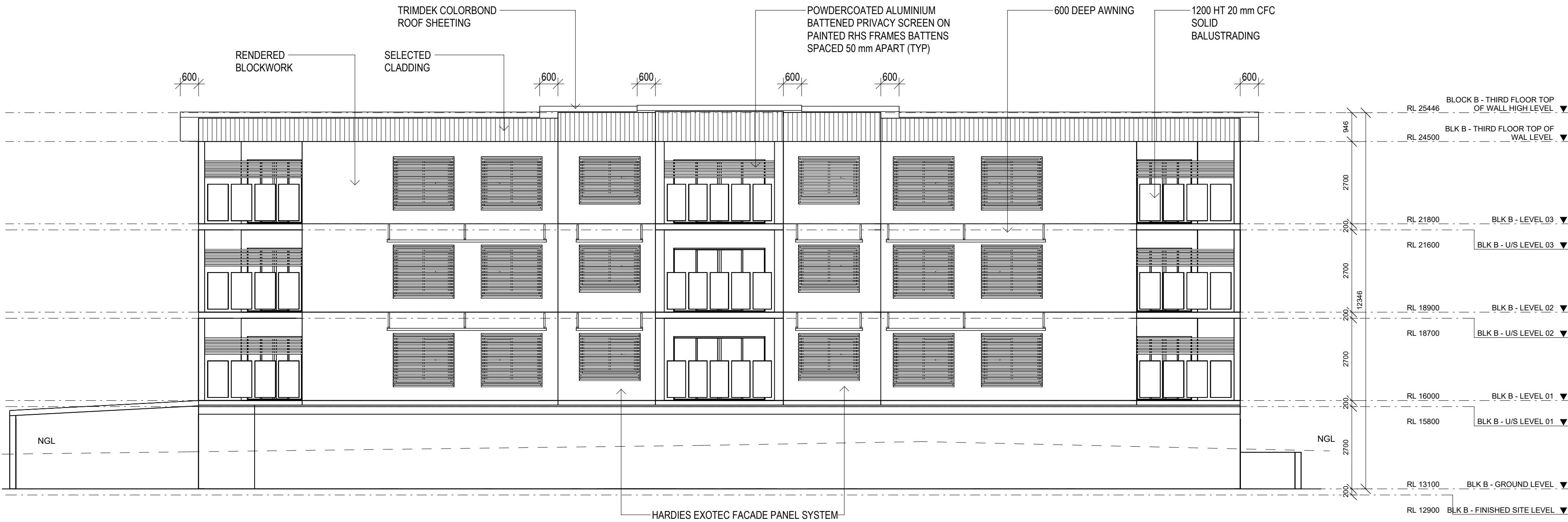
15	30.07.26	SKILLION ROOF
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13	16.07.26	CHANGES
12	15.07.26	MEDICAL CENTRE ADDITION
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10	29.09.25	RADIUS CHANGE
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8	18.09.25	DELETE PATH / MOVE GATE
7	11.09.25	DA AMENDMENTS
6	10.06.25	MECH SCHEDULE ADDED
REV	ISSUE	DESCRIPTION

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BUILDING DESIGN OPEN RISE

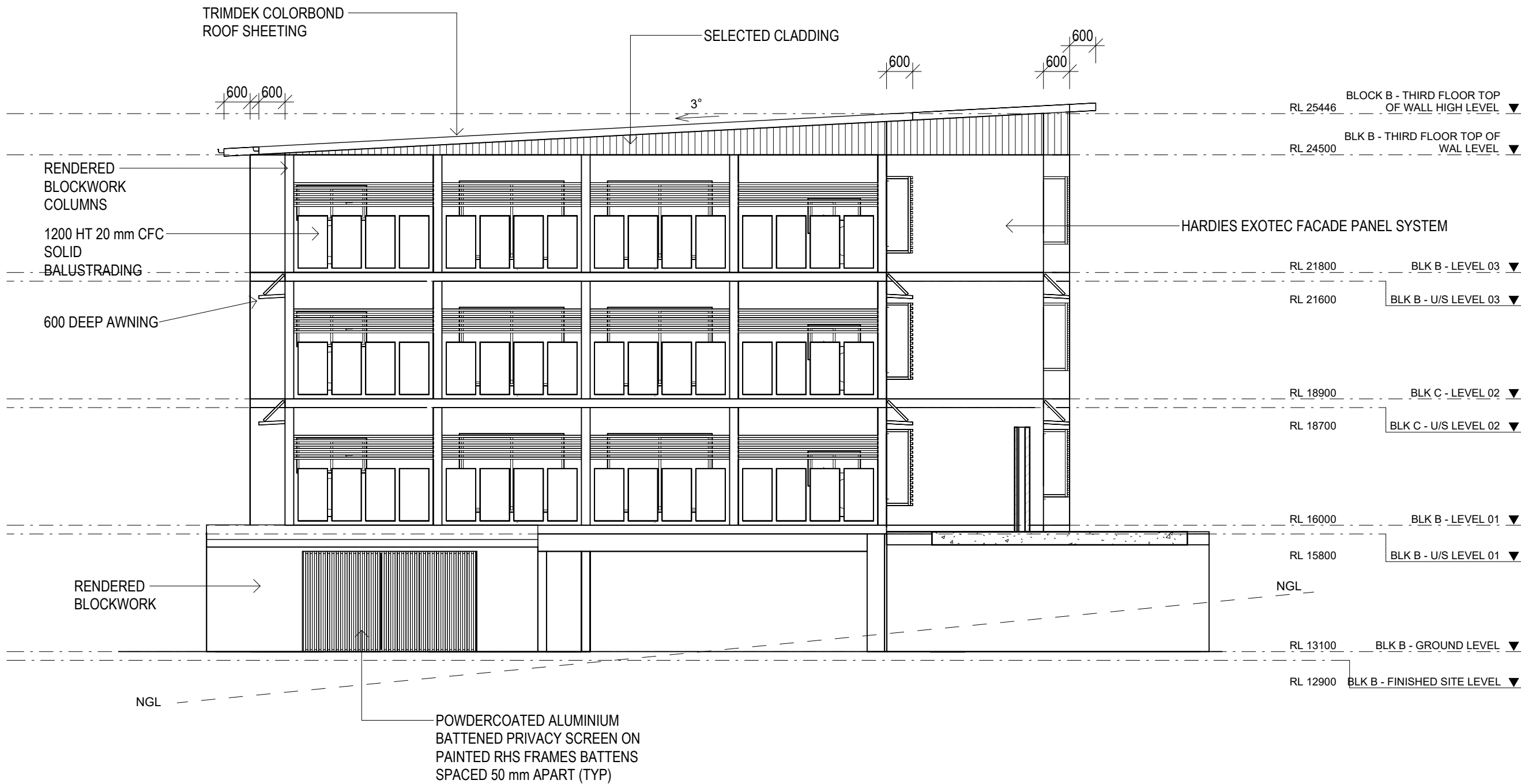


Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: ELEVATIONS - COMMUNAL AREA
Date: 17.04.25 Drawn: DE
Scale: 1 : 100 Designed: NH
Job No.: 2025-093-R Drawing No.: DD 05-A-01 Rev. 15



2 BLK B SOUTH ELEVATION
1 : 100



1 BLK B WEST ELEVATION
1 : 100

NOTES:

1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
2. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED
3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW AND ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION
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15	30.07.26	SKILLION ROOF
14	27.07.26	POOL RELOCATION
13	16.07.26	CHANGES
12	15.07.26	MEDICAL CENTRE ADDITION
11	07.05.26	UNIT FLOOR AREAS
10	29.09.25	RADIUS CHANGE
9	19.09.25	CAR PARKING CHANGES
8	18.09.25	DELETE PATH / MOVE GATE
7	11.09.25	DA AMENDMENTS
6	10.06.25	MECH SCHEDULE ADDED
REV	ISSUE	DATE
		DESCRIPTION

THE DESIGN HOUSE NQ
m: 0423 623 647
a: 19 Castlemaine St Kirwan Qld 4814
e: nathan@thedesignhousenq.com.au
w: www.thedesignhousenq.com.au
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QBCC LICENCE NO. 15046263
BUILDING DESIGN OPEN RISE

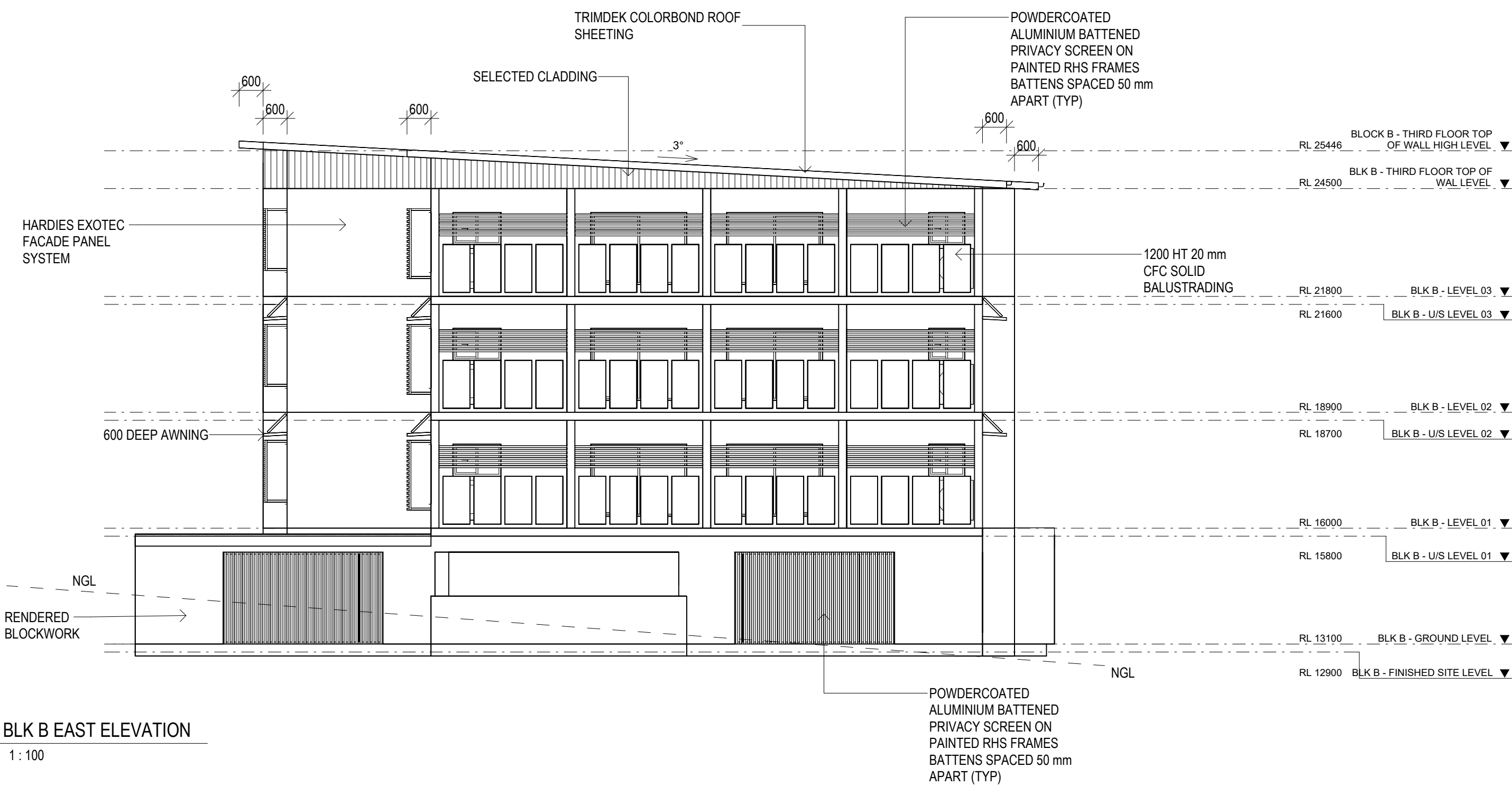


Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: ELEVATIONS - BLK B
Date: 17.04.25 Drawn: DE
Scale: 1 : 100 Designed: NH
Job No.: Drawing No.: Rev.
2025-093-R DD 05-B-01 15



1 BLK B NORTH ELEVATION
1:100



2 BLK B EAST ELEVATION
1:100

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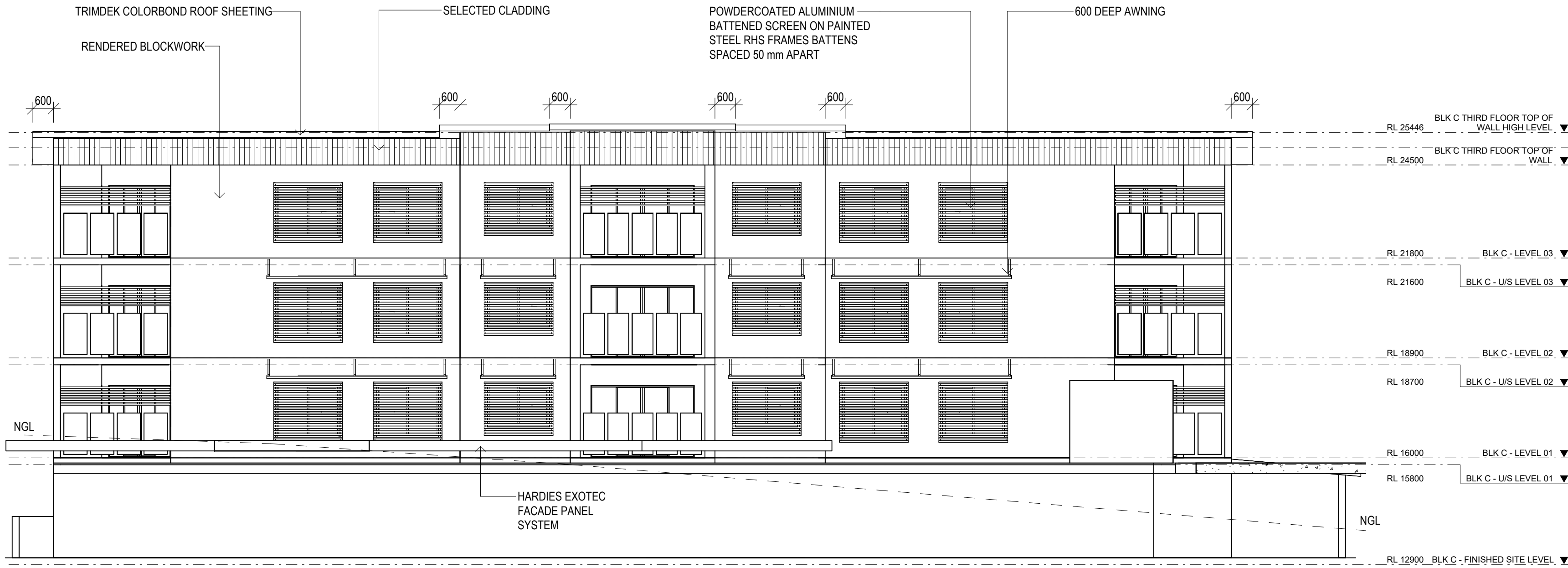


Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

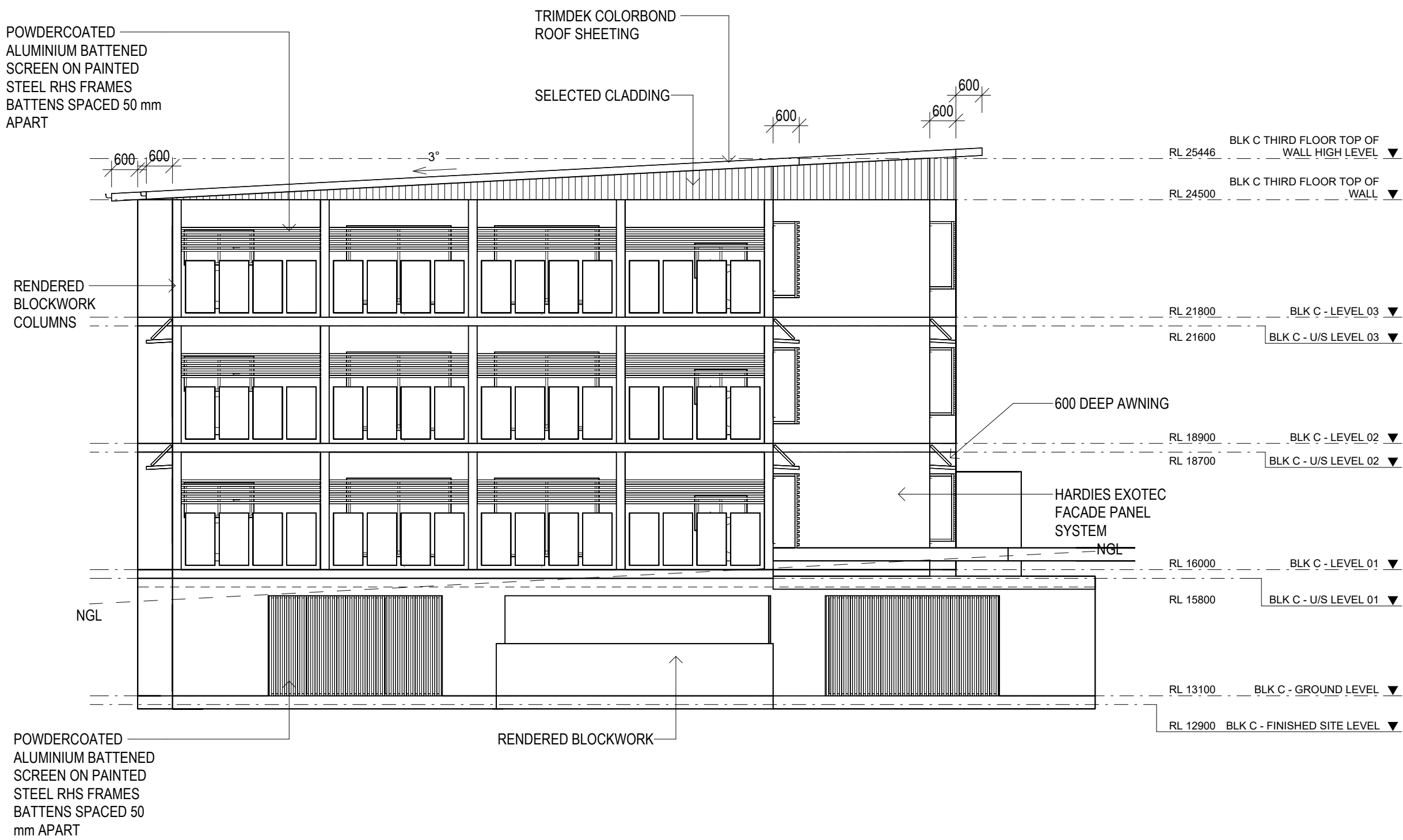
TITLE: ELEVATIONS - BLK B

Date: 17.04.25 Drawn: DE
Scale: 1 : 100 Designed: NH

Job No.: 2025-093-R Drawing No.: DD Rev. 05-B-02 15



1 BLOCK C EAST ELEVATION
1:100



2 BLOCK C SOUTH ELEVATION
1:100

NOTES:

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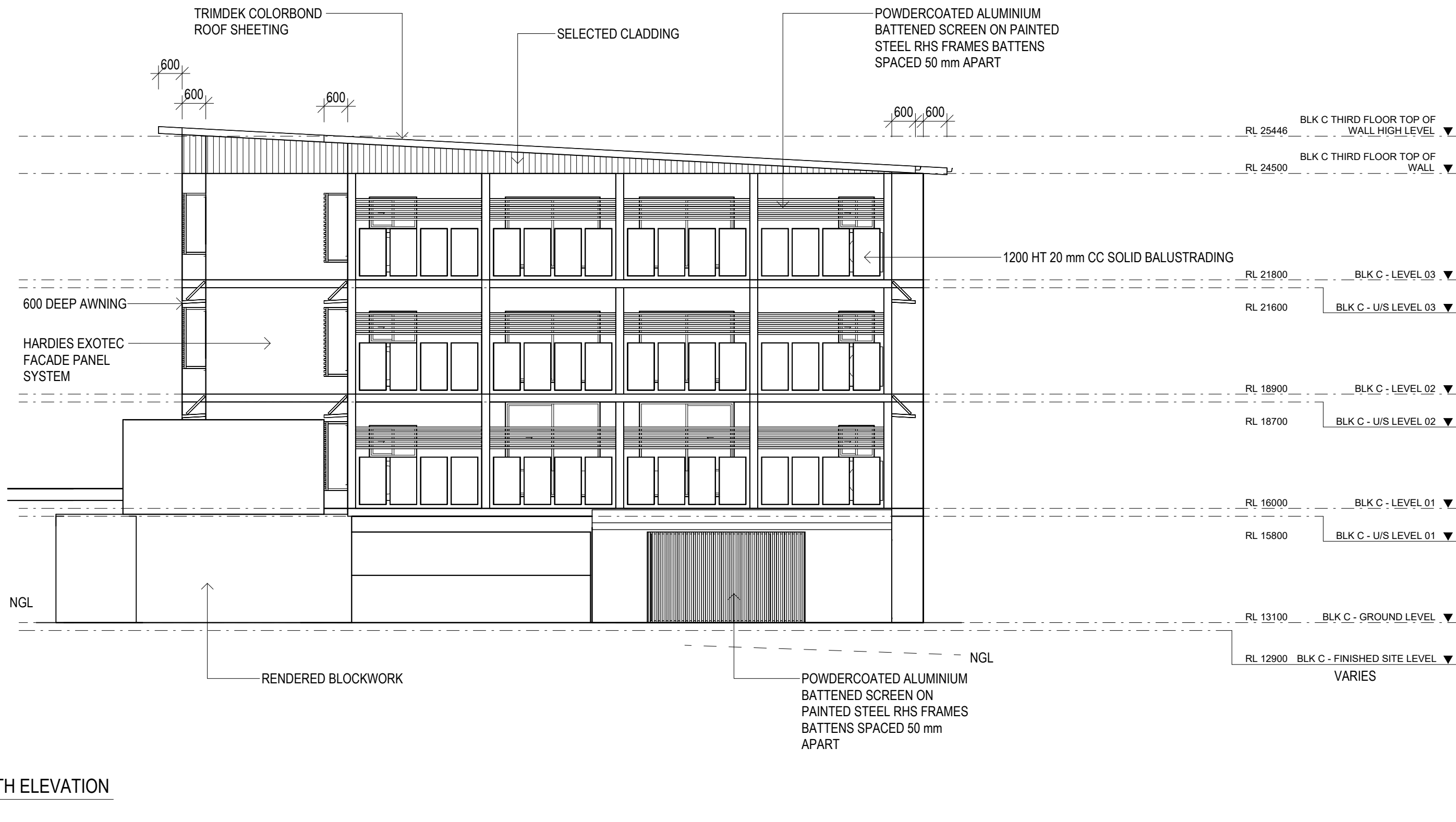
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Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: ELEVATIONS - BLK C
Date: 17.04.25 Drawn: DE
Scale: 1 : 100 Designed: NH
Job No.: 2025-093-R Drawing No.: DD 05-C-01 Rev. 15



NOTES:

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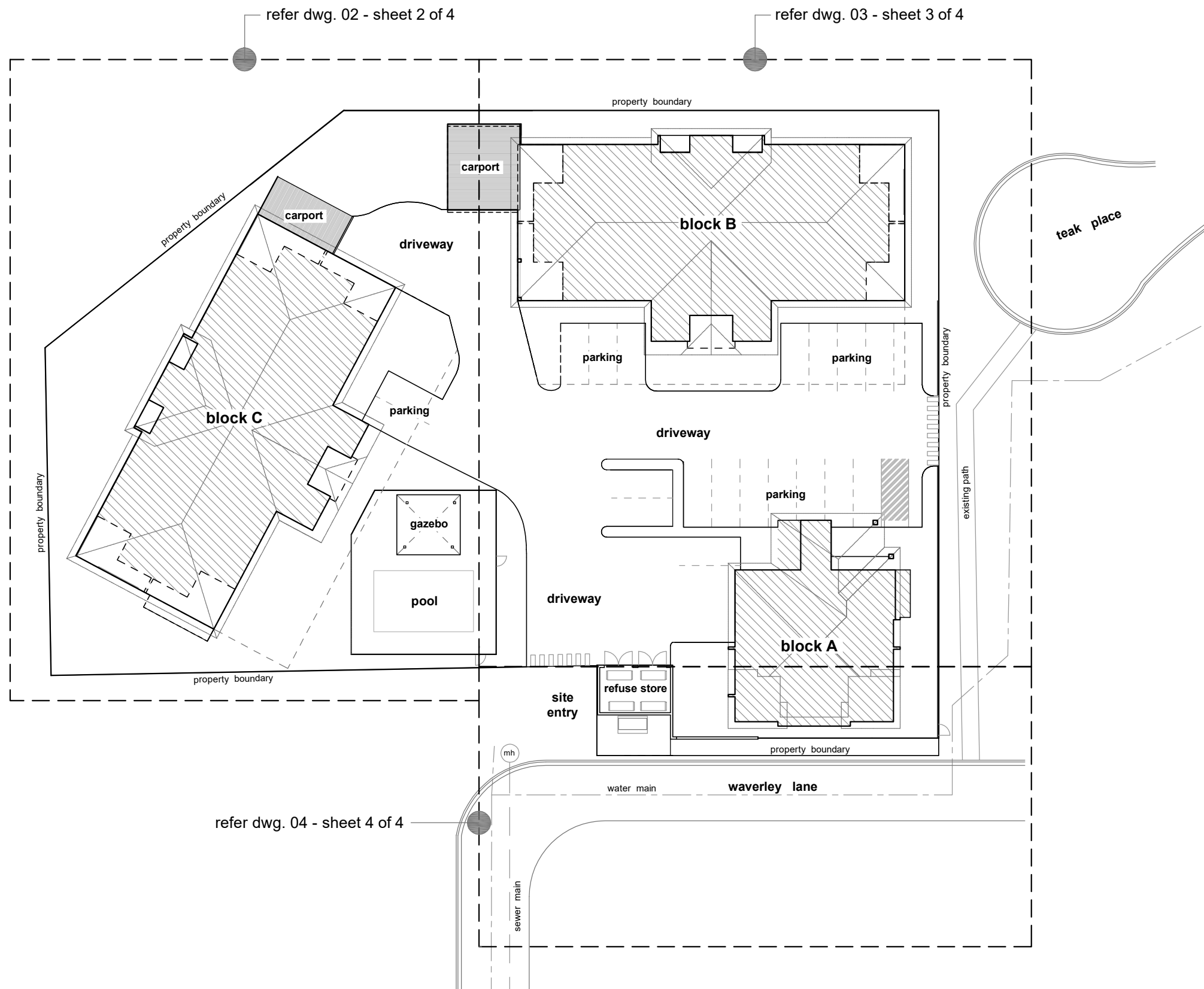
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Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: ELEVATIONS - BLK C
Date: 17.04.25 Drawn: DE
Scale: 1 : 100 Designed: NH
Job No.: Drawing No.: Rev.
2025-093-R DD 05-C-02 15



REV A Revision - changes to suit Site Plan changes including new path system and amended locations of site entry, pool and gazebo

MADDEN
Landscape Architects Pty Ltd
Sunshine Coast

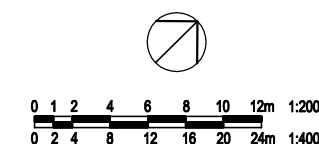
M: 0407 632833
Email: lawrie@bigpond.net.au

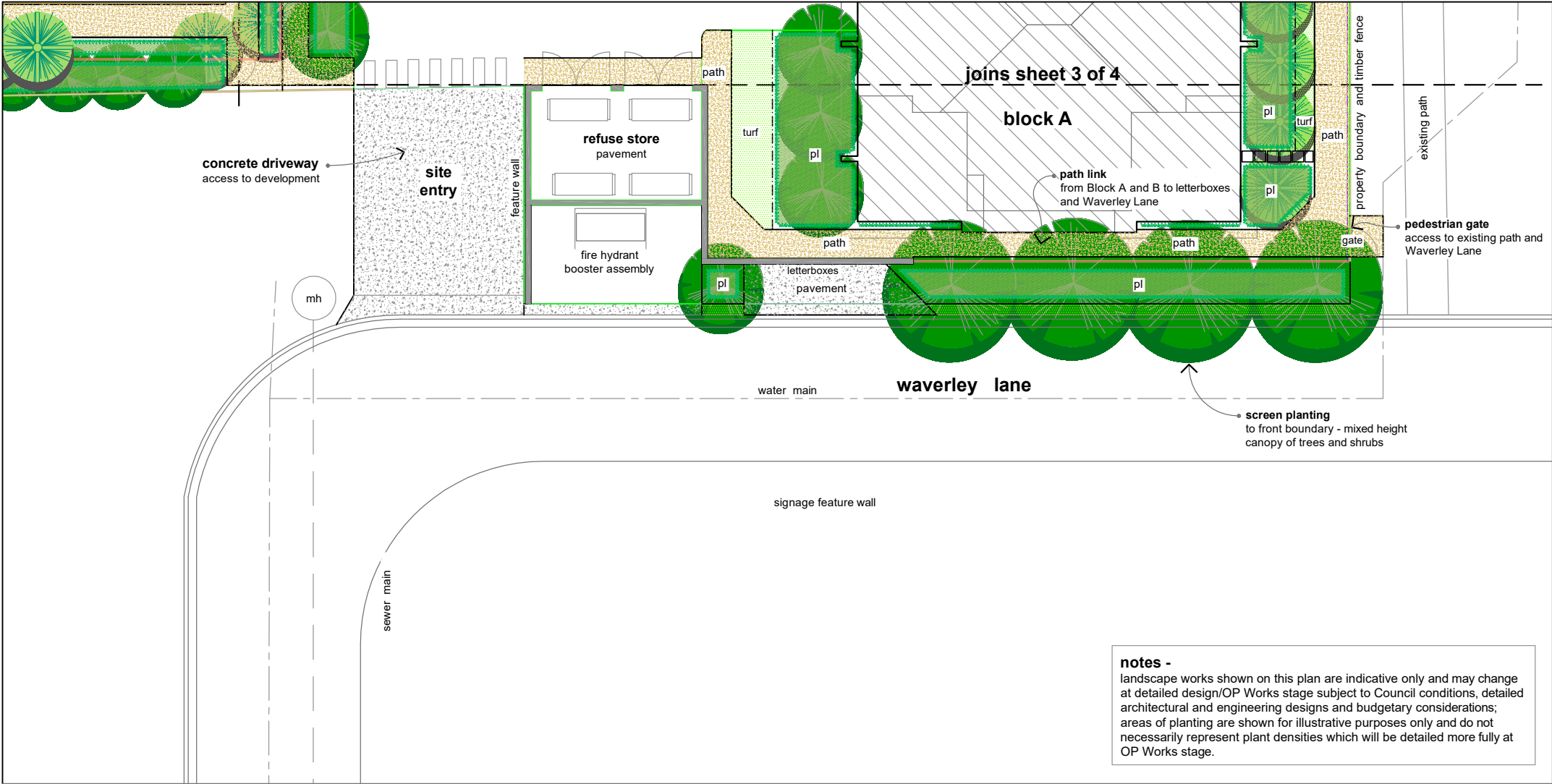
PROPOSED MULTIPLE DWELLINGS

2-14 Waverley Lane, Douglas, Townsville

Landscape Concept Plan - Site Plan (Sheet 1 of 4)

dwg. no. LCP-OPL-006/01/A Rev A
October 2025





notes -
landscape works shown on this plan are indicative only and may change at detailed design/OP Works stage subject to Council conditions, detailed architectural and engineering designs and budgetary considerations; areas of planting are shown for illustrative purposes only and do not necessarily represent plant densities which will be detailed more fully at OP Works stage.

legend

- turfed areas**
typically green couch on a topsoil layer
- planting beds**
typically a mixture of shrubs and groundcovers with trees for shade and/or screening - mowing edge to turf areas
- decorative paving**
typically coloured, exposed aggregate concrete or similar
- stepping stone minor path**
precast concrete pavers for a minor pedestrian path thru planting beds for residents, visitors and maintenance personnel
- tree and palm planting**
refer to "Suggested Plant Species" schedule on this Sheet

PROPOSED PLANT SPECIES LIST

The following lists of plant species is intended to indicate the type and style of plants to be used throughout the proposed development. They can be typically described as tropical plants (a mix of native and non native species) which are known to grow well in Townsville's climate and soils provided they are watered adequately during periods of dry weather. The list is not intended to be exhaustive, not all plants listed may be used and other plants of a similar character may be used at the detailed design/OP Works stage. Note that should an irrigation system not be included in the works then less non native (exotic) plants will be used.

Typically native trees/shrubs will be used to the perimeter of the development, particularly to the boundaries facing the Ross River. However the use of large trees to these areas may be restricted somewhat due to the lack of space and/or close proximity to buildings. The use of colourful flowering native/exotic plants (trees, shrubs, groundcovers) will generally be restricted to more internal areas of the development, including to the pool surrounds and Waverley Street frontage. It is not intended to use large numbers of palms but where used will be planted in small clumps and mostly to internal areas of the site.

Trees

- ACMENA hemilampra
- BUCKINGHAMIA cellissima
- FRAXUS griffithii
- GREVILLEA bailyeana
- CORYMBIA / EUCALYPTUS species (platyphylla, tereticornis, tessellaris)
- MELALEUCA species (leucadendra, viridiflora)
- MILLETIA pinnata
- MIMUSOPS elengi
- NAUCLEA orientalis
- STERCULIA quadrifida
- SYZYGIUM species (cormiflorum, forte)
- TABEBUIA species (pallida, palmerii)
- WATERHOUSIA floribundum
- XANTHESTEMON chrysanthus

Palms

- ARCHONTOPHOENIX alexandrae
- LIVISTONIA australis

Shrubs

- ACALYPHA species (dwarf)
- ACMENA Allyn Magic
- CALLISTEMON species (Great Balls of Fire, Captain Cook, Wildfire, Mauve Mist)
- HIBISCUS species (Roseflake)
- IXORA species (Coral Fire, Malay Pink, dwarf red/yellow/pink etc)
- MELALEUCA species (Claret Tops, Snowstom, Snowfire)
- MICHELIA figo
- NANDINA domestica
- PHYLLANTHUS cuscufifloris
- RADERMACHERA Summerscent
- RAPHIOLEPSIS species (Springtime, pink etc)
- SYZYGIUM species (Aussie Southern and Boomer, Hinterland Gold)
- XANTHESTEMON species (Fairhill Gold, Little Goldie)

Groundcovers

- AUSTROMYRTUS dulcis
- CASUARINA glauca prostrate
- DIANELLA species (caerulea, Silver Border)
- GARDENIA radicans
- LIRIOPE species (green, white, variegated)
- LOMANDRA hystrix
- OPHIPOGAN species
- PHILODENDRON xanadu
- PHYLLANTHUS multiflorus
- RHOEO dwarf form
- TRACHELOSPERMUM tricolor
- VIOLA hederacae

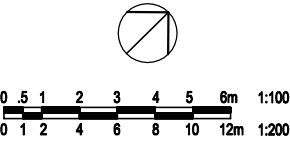
Accent Plants

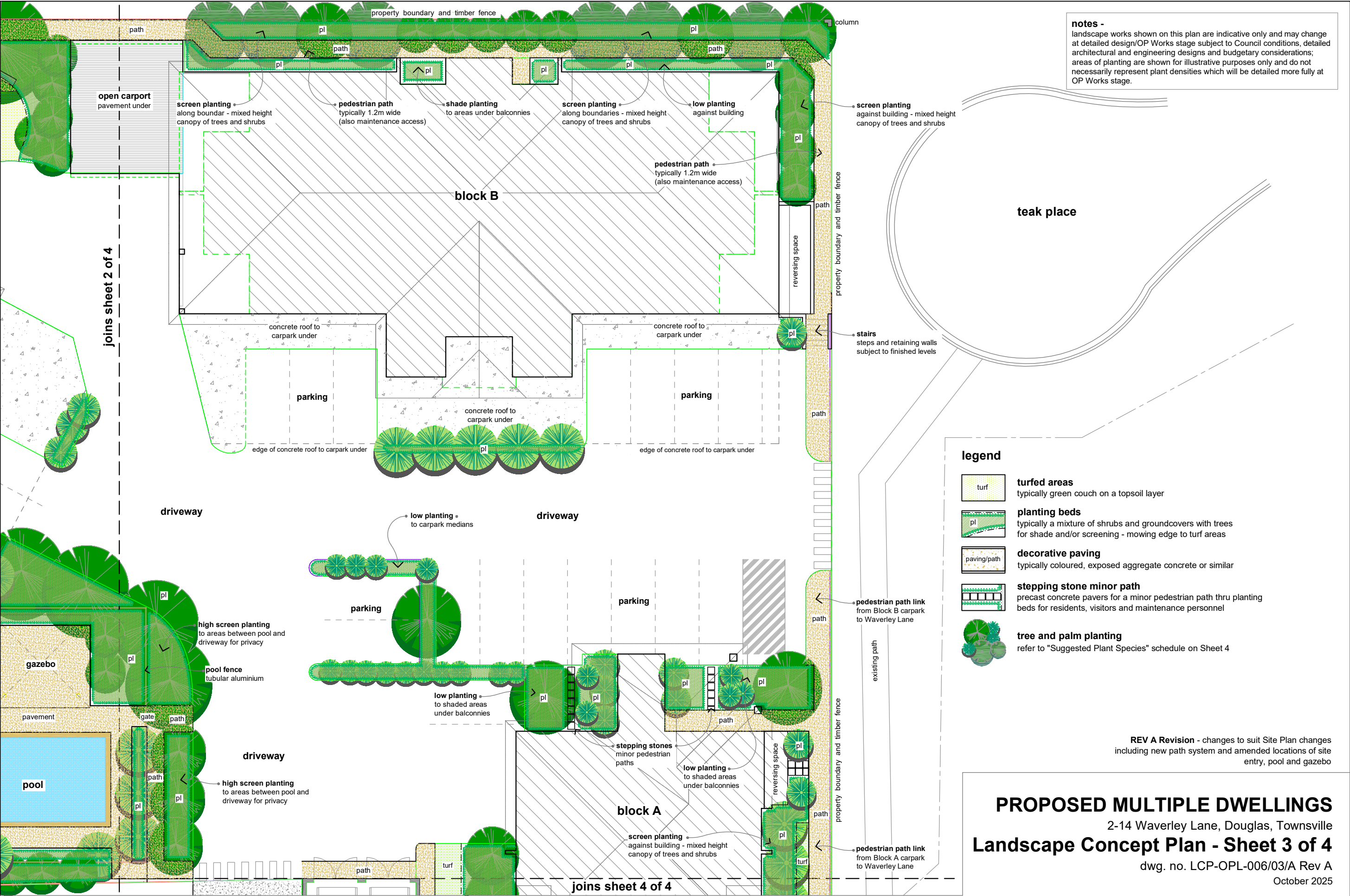
- CODIAEUM species (crotons)
- CORDYLINE species
- RUSSELIA species (Firecracker, Lemon Falls)
- SPATHYPHYLLUM Peace Lily
- STRELITZEA reginae
- YUCCA desmetiana

REV A Revision - changes to suit Site Plan changes including new path system and amended locations of site entry, pool and gazebo

MADDEN
Landscape Architects Pty Ltd
Sunshine Coast
M: 0407 632833
Email: lawrie@bigpond.net.au

PROPOSED MULTIPLE DWELLINGS
2-14 Waverley Lane, Douglas, Townsville
Landscape Concept Plan - Sheet 4 of 4
dwg. no. LCP-OPL-006/04/A Rev A
October 2025





notes -
landscape works shown on this plan are indicative only and may change at detailed design/OP Works stage subject to Council conditions, detailed architectural and engineering designs and budgetary considerations; areas of planting are shown for illustrative purposes only and do not necessarily represent plant densities which will be detailed more fully at OP Works stage.

legend

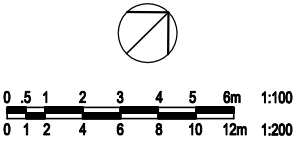
-  **turfed areas**
typically green couch on a topsoil layer
-  **planting beds**
typically a mixture of shrubs and groundcovers with trees for shade and/or screening - mowing edge to turf areas
-  **decorative paving**
typically coloured, exposed aggregate concrete or similar
-  **stepping stone minor path**
precast concrete pavers for a minor pedestrian path thru planting beds for residents, visitors and maintenance personnel
-  **tree and palm planting**
refer to "Suggested Plant Species" schedule on Sheet 4

REV A Revision - changes to suit Site Plan changes including new path system and amended locations of site entry, pool and gazebo

PROPOSED MULTIPLE DWELLINGS
2-14 Waverley Lane, Douglas, Townsville
Landscape Concept Plan - Sheet 3 of 4

dwg. no. LCP-OPL-006/03/A Rev A

October 2025



MADDEN
Landscape Architects Pty Ltd
Sunshine Coast

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Email: lawrie@bigpond.net.au



Appendix 5

Our ref: 50969-LT01-A
Your ref: MCU25/0006
Contact: James Goodman

1 October 2025

The Chief Executive Officer
City of Townsville
PO BOX 1268
Townsville QLD 4810
developmentassessment@townsville.qld.gov.au
Attention: Taryn Pace

Dear Taryn,

Response to Council Further Advice – Application Number MCU25/0006 Proposed Multiple Dwelling Development – 12-14 Waverley Lane, Douglas

Reference is made to a Further Advice notice dated 14 August 2025 from the City of Townsville (**Council**) in relation to the abovementioned development application. The purpose of this letter is to provide a response to Items 1, 2 3, 4 and 5 of the Further Advice. This response has been prepared following a telephone conversation with Council's Development Engineering Officer on Friday 12 September 2025 and email liaison on Monday 15 September 2025 (**Attachment A**).

1. Response to items

1. Traffic Impact Assessment

The Traffic Impact Assessment prepared by Geleon dated 9 June 2025 (Rev A) is not accepted. An amended Traffic Impact Assessment (TIA) for a moderate impact level is required in accordance with the requirements outlined in SC6.4.5.2 Traffic Impact Assessments (TIA) of the Townsville City Plan. The following matters have been identified in the TIA in its current form which require further assessment:

- The existing traffic operating conditions, traffic volumes and turning movement counts for peak periods for the sections of the network surrounding the development must be analysed;
- All intersections that have an increase in traffic volume of more than 5% over and above the existing traffic volume as a direct consequence of the development must be assessed.

Response to Item 1 dot point 1 and 2

Correspondence with Council's Development Engineering Officer confirms that only a Low Impact Traffic Impact Assessment (TIA) is required for the proposed development (**Attachment A**). Therefore, analysis of external intersections is not required.

- Parking manoeuvrability must be assessed for a 5.2m long B99 vehicle, as opposed to a B85 vehicle.

The applicant is further advised to consider Advice items 2 – 4, below, as part of the review of the TIA.

The applicant is advised to refer to the TIA Guideline for guidance on the requirements of TIA and Townsville Road and Pathway Demand Rates for traffic generation.

Response to Item 1 dot point 3

Council's requirement of assessing a B99 passenger vehicle manoeuvrability to and from parking spaces is not consistent with AS2890.1.

Council is referred to *Section B3* of AS2890.1 which states the following:

The B99 vehicle

Design dimensions based on the B99 vehicle are required at all locations where failure of a vehicle to be able to physically fit into the facility would occasion intolerable congestion and possible hazard. Such locations shall include all access driveways, ramps and circulation roadways, unless there are special circumstances of severe space limitation coupled with relatively low traffic volumes in which case the B85 vehicle dimensions may be used.

The B85 vehicle

Design dimensions based on the B85 vehicle shall be limited to parking spaces and parking aisles.

A B85 vehicle is used for the design of car parking spaces and parking aisles and the B99 vehicle is used for the design of access driveways, ramps and circulation roadways. Council's request for parking manoeuvre swept paths to be based on a B99 vehicle is not consistent with the requirements specified in AS2890.1. The previous swept path assessment provided complies with *Section B3* of AS2890.1 whereby all manoeuvres related to car parking spaces and parking aisles have been undertaken using a B85 vehicle.

Irrespective of the above AS2890.1 outcomes, to close out this item a revised swept path assessment for the garage parking bays has been undertaken for a B99 vehicle. The updated swept path assessment is attached to the amended Traffic and Transport Assessment (TTA) report included in **Attachment B**.

2. Access driveway

The applicant is advised that the proposed access driveway design is not accepted. The purpose of the access easement is to ensure that vehicles can enter and exit safely using the access easement without having to travel along the narrower section of Waverley Lane. Additionally, the proposed location of the bin enclosure and swimming pool prohibits vehicles to enter/exit through the access easement into/from the internal driveway without swerving around these structures. Having regard to this, the applicant is advised to reconsider the layout and provide updated plans (particularly, Site plan – Proposed (Drawing No 02 Rev 1)) demonstrating the following:

- A combined driveway width of minimum 5.8m is achieved throughout the development;

[Response to Item 2 dot point 1](#)

The development achieves a minimum driveway width of 5.8m throughout the development site. Updated plans of development are attached to the amended TTA report included in **Attachment B**. Any proposed gates must be positioned to ensure unrestricted access to visitor parking, service areas, and refuse collection vehicle routes.

- Vehicles are able to enter and exit safely, particularly adjacent to the bin enclosure and swimming pool. Drivers travelling in the opposite direction must be able to see each other and pass safely for the entire length of the combined driveway;

[Response to Item 2 dot point 2](#)

The access driveway for the development site has been redesigned so that vehicles entering and exiting the development site are able to do so without swerving around obstructions. The revised layout allows for vehicles to maintain suitable sight lines for the full length of the combined driveway.

A swept path assessment has been completed demonstrating that a B99 and B85 passenger vehicle can pass each other on the combined driveway in accordance with the clearances stipulated in AS2890.1. In addition, the revised layout ensures that sufficient stopping sight distance between vehicles on the access easement and vehicles exiting the development site is available based on a design speed of 20km/h (10km/h operating speed, plus 10km/h).

The updated swept path assessment is attached to the amended TTA report included in **Attachment B**.

- Clarify the purpose of 2.5m x 2.2m sight triangle indicated within the driveway

Response to Item 2 dot point 3

To comply with the acceptable outcomes of Council's *Transport impact, access and parking code*, 2.0m wide x 2.5m long pedestrian sight triangles are provided on both sides of the driveway access in accordance with AS2890.1 – Figure 3.3 and AS2890.2 – Figure 3.4 to ensure that sight lines to pedestrians on Waverly Lane and the access easement are maintained. A compliant arrangement in accordance with the requirements of AS2890.1, AS2890.2 and Council's acceptable outcomes has been demonstrated.

While other treatments are noted in the Department of Transport and Main Roads (TMR) *Guidelines: Treatment options to improve safety of pedestrians bicycle riders and other path users at driveways (2021)*, Waverly Lane at the access location will be one-way (eastbound direction) and does not comprise of a footpath within the road verge. It is therefore considered that the provision of 2.0m wide x 2.5m long pedestrian sight triangles in accordance with AS2890.1 and AS2890.2 will ensure sufficient driver visibility to pedestrians and cyclists (if any) on Waverly Lane when exiting the development site is achieved.

In addition to the above, the amended TTA report includes a sight distance assessment for the access via Waverly Lane which demonstrates that minimum gap sight distance requirements are achieved in accordance with AS2890.1 and AS2890.2 (**Attachment B**).

3. Carparking Layout

The applicant is advised that the proposed carparking layout is not accepted. Updated plans are required providing clarification on the carparking layout with regards to the following:

- Identify carparking bays that do not meet the minimum size requirement of 5.4m x 2.5m. For instance, vehicles in visitor parking bays 11, 12 and 13 encroach on to the driveway. Carparking bays not meeting the minimum must be redesigned to meet the requirement stated above;

Response to Item 3 dot point 1

All car parking bays have been designed in accordance with AS2890.1 which is demonstrated in the attached amended TTA report included in **Attachment B**. Specifically the minimum dimensions of 2.4m (width) by 5.4m (length) is provided for resident car parking (User Class 1A) and 2.5m (width) by 5.4m (length) dimensions are provided for visitor parking (User Class 2).

- Functionality of the turnaround bay adjacent to visitor parking bay 07;

Response to Item 3 dot point 2

A turnaround bay has been provided, as the parking aisle in question is accessible to visitors and includes a blind aisle that exceeds a length greater than six parking spaces plus 1m (refer to AS2890.1 Clause 2.4.2 (c)).

The turnaround bay has been designed in accordance with AS2890.1, with dimensions of 2.4m in width and 5.4m in length. Additionally, a 1.2m blind aisle extension is provided beyond the turnaround bay, spanning the full 6.0m width of the parking aisle. As such, the turnaround bay complies with AS2890.1 requirements, and a swept path analysis is not required to confirm its functionality.

- Demonstrate safe operation of the proposed open carports for Unit 5 & Unit 19 (BCK B – Floor Plan – Ground Level Drawing No. DD 04-B-01 Rev 1) and proposed open carport for Unit 28 (BLK C – Floor Plan – Ground Level Drawing No. DD 04-C-01 Rev 1). The proposal creates crash hazard between vehicles reversing from these and vehicles exiting the carparking.

Response to Item 3 dot point 3

The open garages located outside of Block B and Block C will be partially screened to allow for visibility between vehicles exiting the garages and vehicles circulating through the development site.

Updated plans of development are attached to the amended TTA report included in **Attachment B**. In addition, the car park will function as a low-speed area with minimal traffic turnover, resulting in a low risk of vehicle collisions.

4. Cycle Parking

The applicant is advised to consider provision of secure accessible, and functional bicycle storage to residents of the proposed Multiple Dwelling.

Response to Item 4

The plans of development have been updated to include secure bicycle storage for residents. For further details, refer to the amended TTA report included in **Attachment B**.

5. Waste Management Plan

The applicant is requested to provide a Waste Management Plan prepared in accordance with SC6.4.22.2 Waste management plans of the Townsville City Plan.

The Waste Management Plan must demonstrate the proposed refuse collection location and arrangements for the development. While it is noted that The Traffic Impact Assessment prepared by Geleon dated 9 June 2025 (Rev A) includes swept paths for a front-loading refuse collection vehicle, it is unclear how this vehicle is proposed to collect bins from the proposed refuse storage location.

Response to Item 5

In relation to Council's request for a Waste Management Plan, please refer to the town planner's response. Regarding the swept paths for the refuse collection vehicle (RCV), an updated swept path assessment has been completed demonstrating a 10.5m RCV can access and service the bins at their proposed storage point. Additional swept paths have been completed demonstrating a B99 passenger vehicle passing a 10.5m RCV while parked in the servicing point and a B99 vehicle passing an RCV parked in the standing area while bulk bin cleaning is undertaken.

The updated swept path assessment is attached to the amended TTA report included in **Attachment B**.

2. Conclusion

As a result of the responses provided to the matters raised, we conclude that the proposed development addresses the above related items raised by Council in relation to the proposed development.

Should you have any questions or need anything clarified, please contact our office.

Yours sincerely



Luke Seeney, RPEQ 23542
Principal Engineer

Attach.

Attachment A Email correspondence with Council Officers

James Goodman

From: Shelly Sharma <shelly.sharma@townsville.qld.gov.au>
Sent: Monday, 15 September 2025 11:57 AM
To: James Goodman
Cc: Jeremy Garcia; Mary McCarthy; Luke Seeney; Meredith Hutton; Taryn Pace
Subject: RE: NP24.257 | MCU25/0006 - 12-14 Waverley Lane, Douglas [50969]

Hi James

Confirming a low impact TIA does not require SIDRA analysis of external intersections.

Kind Regards,

Shelly Sharma

Senior Development Engineer – Engineering Assessment
Planning and Development

P 07 4727 9363 E shelly.sharma@townsville.qld.gov.au

{Your location}, Townsville QLD 4810 | PO Box 1268, Townsville QLD 4810



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From: James Goodman <james.goodman@geleon.com.au>
Sent: Monday, 15 September 2025 11:55 AM
To: Shelly Sharma <shelly.sharma@townsville.qld.gov.au>
Cc: Jeremy Garcia <jeremy.garcia@o-b-g.com.au>; Mary McCarthy <Mary@northpointplanning.com.au>;
Luke Seeney <luke.seeney@geleon.com.au>; Meredith Hutton <meredith@northpointplanning.com.au>;
Taryn Pace <taryn.pace@townsville.qld.gov.au>
Subject: RE: NP24.257 | MCU25/0006 - 12-14 Waverley Lane, Douglas [50969]

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Hi Shelly,

Thank you for your time on the phone Friday and the below follow up.

Just to clarify, can you please confirm that a low impact TIA does not require SIDRA analysis of external intersections?

The other internal design matters will be investigated.

Regards,



JAMES GOODMAN
Senior Traffic Engineer | RPEQ
tel 07 5594 4473

Suite 12, Level 1, 3029 The Boulevard, Emerald Lakes, Carrara
PO Box 454, Nerang Qld 4211

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From: Shelly Sharma <shelly.sharma@townsville.qld.gov.au>

Sent: Monday, 15 September 2025 11:37 AM

To: James Goodman <james.goodman@geleon.com.au>

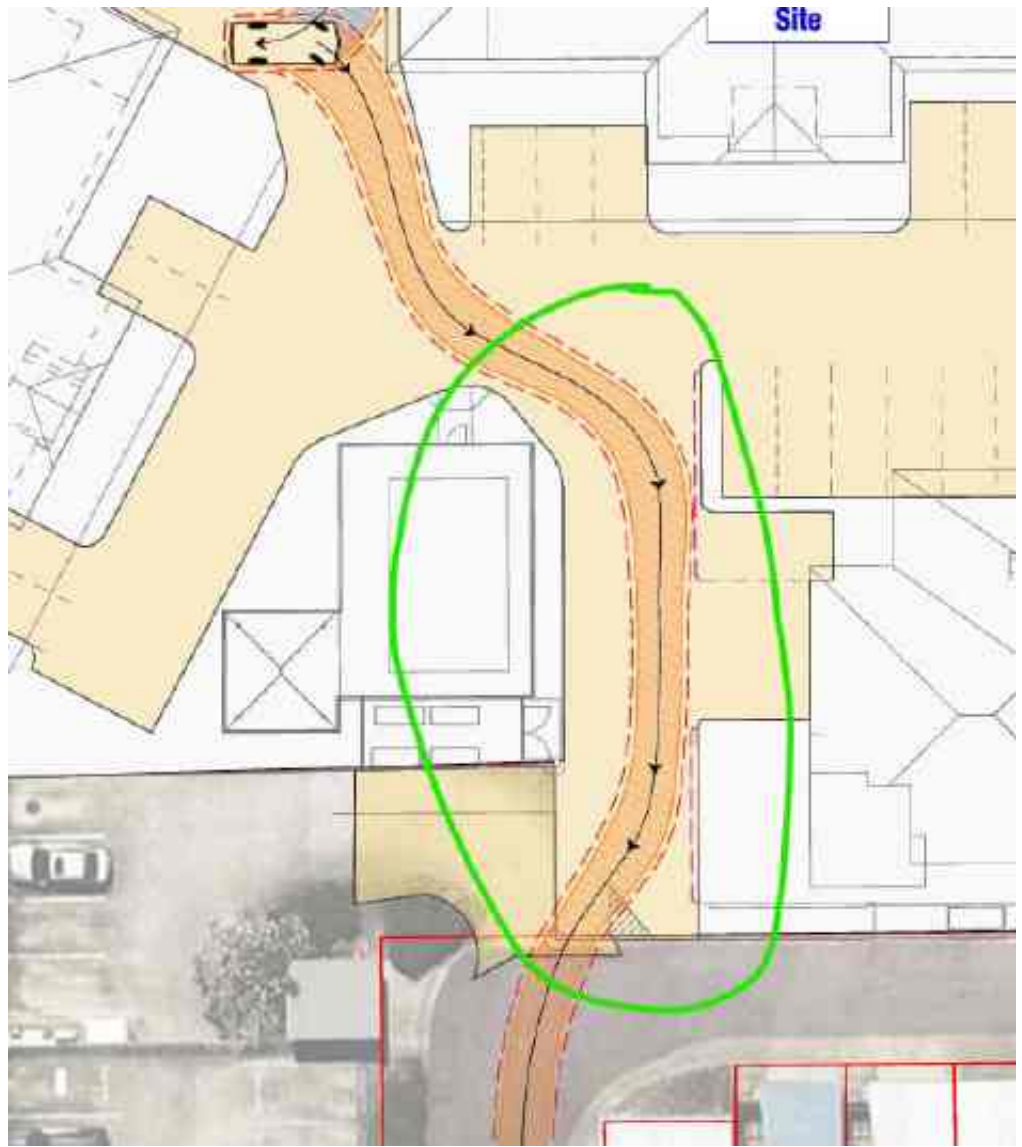
Cc: Jeremy Garcia <jeremy.garcia@o-b-g.com.au>; Mary McCarthy <Mary@northpointplanning.com.au>; Luke Seeney <luke.seeney@geleon.com.au>; Meredith Hutton <meredith@northpointplanning.com.au>; Taryn Pace <taryn.pace@townsville.qld.gov.au>

Subject: RE: NP24.257 | MCU25/0006 - 12-14 Waverley Lane, Douglas

Hi James,

Thank you for your call on 12/09/2025. I confirm that a low impact TIA is acceptable in this instance. It is required that the following are addressed within the amended TIA:

1. Vehicle turning paths must demonstrate that onsite manoeuvring works. For instance, area indicated below needs further investigation. Details on operation and location of any gates being proposed must be included, demonstrating no backup of vehicles on Waverley Lane.



2. Pedestrian safety measures must be in place to ensure adequate sight lines. This is to be in accordance with AS2890.1 and DTMR's "Treatment options to improve safety of pedestrians, bicycle riders and other path users at driveways"

In addition to the above, it is required that TIA considers other relevant matters outlined in the Further Advice Letter (attached) and aligns with the planning/servicing concerns as below:

1. Noted that refuse collection vehicles can enter and exit in forward motion. However, how are other vehicles going to enter/exit when the waste collection is occurring and the MRV is parked in the internal driveway. Generally, it takes in excess of 15 minutes as the contractor also wash and sanitise the bulk bins. Refer to Advice item 5.
2. Consideration towards internal pedestrian connectivity and how it works with the vehicle movements onsite. Refer Advice Item 7.

Feel free to contact me, should you wish to discuss this further.

Kind Regards,

Shelly Sharma

Senior Development Engineer – Engineering Assessment
Planning and Development

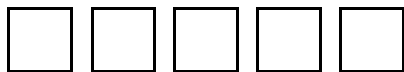
P 07 4727 9363 E shelly.sharma@townsville.qld.gov.au

{Your location}, Townsville QLD 4810 | PO Box 1268, Townsville QLD 4810



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From: Taryn Pace <taryn.pace@townsville.qld.gov.au>
Sent: Friday, 12 September 2025 1:57 PM
To: Meredith Hutton <meredith@northpointplanning.com.au>
Cc: Jeremy Garcia <jeremy.garcia@o-b-g.com.au>; James Goodman <james.goodman@geleon.com.au>;
Mary McCarthy <Mary@northpointplanning.com.au>; luke.seeney@geleon.com.au; Shelly Sharma
<shelly.sharma@townsville.qld.gov.au>
Subject: RE: NP24.257 | MCU25/0006 - 12-14 Waverley Lane, Douglas

Hi Meredith,

Thank you for your email.

The relevant assessing officer for the subject Development Application is Shelly Sharma. Shelly's contact information is below:

Shelly Sharma
Senior Development Engineer – Engineering Assessment
Planning and Development

P 07 4727 9363 E shelly.sharma@townsville.qld.gov.au

I have also cc'd in Shelly, so will leave it to her and James to coordinate further discussions from here.

Kind Regards,

Taryn Pace
Senior Planning Officer - Planning Assessment

Planning & Development Section
Executive Office Division

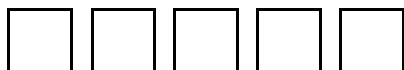
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From: Meredith Hutton <meredith@northpointplanning.com.au>
Sent: Friday, 12 September 2025 1:42 PM
To: Taryn Pace <taryn.pace@townsville.qld.gov.au>
Cc: Jeremy Garcia <jeremy.garcia@o-b-g.com.au>; James Goodman <james.goodman@geleon.com.au>; Mary McCarthy <Mary@northpointplanning.com.au>; luke.seeney@geleon.com.au
Subject: NP24.257 | MCU25/0006 - 12-14 Waverley Lane, Douglas

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Hi Taryn,

As discussed, Geleon would like to clarify Council's Further Advice requests prior to undertaking amendments to the TIA.

Can you please confirm the relevant officer assessing this, and liaise directly with James Goodman (details below and cc'd).



James Goodman
Senior Traffic Engineer | RPEQ
tel 07 5594 4473

Suite 12, Level 1, 3029 The Boulevard, Emerald Lakes, Carrara
PO Box 454, Nerang Qld 4211

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Kind regards,

Meredith Hutton

Director



E meredith@northpointplanning.com.au

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A 613 Flinders Street | PO Box 4
Townsville Q 4810

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Attachment B

Amended Traffic and Transport Assessment Report: 50969-RP01-B

Traffic and Transport Assessment

Proposed Multiple Dwelling Development
12-14 Waverley Lane, Douglas



1 October 2025

Prepared for:
Martinez Garcia Pty Ltd
Report: 50969-RP01-B

GELEON

Document Control Information

Document Title: Traffic and Transport Assessment
Document Reference: 50969-RP01-B
Prepared for: Martinez Garcia Pty Ltd
Prepared by: Alex Williams
Reviewed by: Luke Seeney
Project Reference: 50969

Revision History

Authorised for issue

Version	Issue date	Purpose of issue	Details	Name / position	Signature
A	9 June 2025	To support development application	Original issue	Luke Seeney RPEQ 23542 Principal Engineer	Original signed by L. Seeney
B	1 October 2025	To support development application	Updated in response to Council Further Advice	Luke Seeney RPEQ 23542 Principal Engineer	

Table of Contents

1.	Introduction	1
1.1	Project background	1
1.2	Development details	1
1.3	Applicable planning scheme	2
1.4	Scope.....	2
2.	Existing conditions	3
2.1	Road network	3
2.2	Public transport	3
2.3	Active transport	4
3.	Traffic impact assessment.....	6
3.1	Traffic generation	6
3.2	Trip distribution.....	6
3.3	Traffic distribution.....	6
3.4	Traffic impacts	8
4.	Parking assessment	9
4.1	Car parking requirements	9
4.2	Car parking provision	9
4.3	Bicycle parking requirements	10
4.4	Bicycle parking provision	10
5.	Access and servicing assessment.....	11
5.1	Access arrangement	11
5.2	Sight distance assessment	11
5.3	Servicing	12
6.	Response to development codes	12
7.	Conclusion	13
8.	References	13

Figures

Figure 1.1	Locality plan
Figure 1.2	Site plan
Figure 2.2	Public transport in proximity to site
Figure 2.3.1	Active transport network
Figure 2.3.2	Principal cycle network
Figure 2.3.3	Priority route map
Figure 3.3.1	Development distributions (%)
Figure 3.3.2	Development distributions (vehicles)
Figure 5.1	Proposed access arrangement
Figure 5.2	Sight distance assessment

Tables

Table 1.2	Development details
Table 2.1	Surrounding road network
Table 3.1	Development traffic generation rates
Table 3.2.1	Development traffic splits
Table 4.1	Car parking requirements
Table 4.2	Car parking design requirement
Table 4.3	Bicycle parking requirements
Table 4.4	Bicycle parking design requirements
Table 5.2	Sight distance requirements

Appendices

Appendix A	Plans of development
Appendix B	Waverley Lane one-way access working plan
Appendix C	Swept path assessment
Appendix D	Development code responses

1. Introduction

1.1 Project background

Geleon has been engaged by Martinez Garcia Pty Ltd (the **Applicant**) to prepare a Traffic and Transport Assessment (TTA) to accompany a Development Application (DA) to establish a multiple dwelling development at 12-14 Waverley Lane, Douglas (Lot 999 on SP159422) (**Figure 1.1**). The existing 3,869m² site is currently vacant.



Figure 1.1 Locality plan

1.2 Development details

The development proposes a multiple dwelling land use to establish three multi-storey residential buildings on the subject site. Access to and from the development is proposed via the existing vehicle crossing adjacent to Waverley Lane, located within Easement B on SP159422 that will provide access to the internal car parking area.

Details of the proposed development are provided in **Table 1.2**, with the site plan for the ground floor shown in **Figure 1.2**. Relevant plans of development have been included in **Appendix A**.

Table 1.2 Development details

Building	Land use	2-bedroom units	3-bedroom units	Total no. of units
A	Multiple dwelling	2	2	4
B		9	6	15
C		9	6	15
Totals		20	14	34

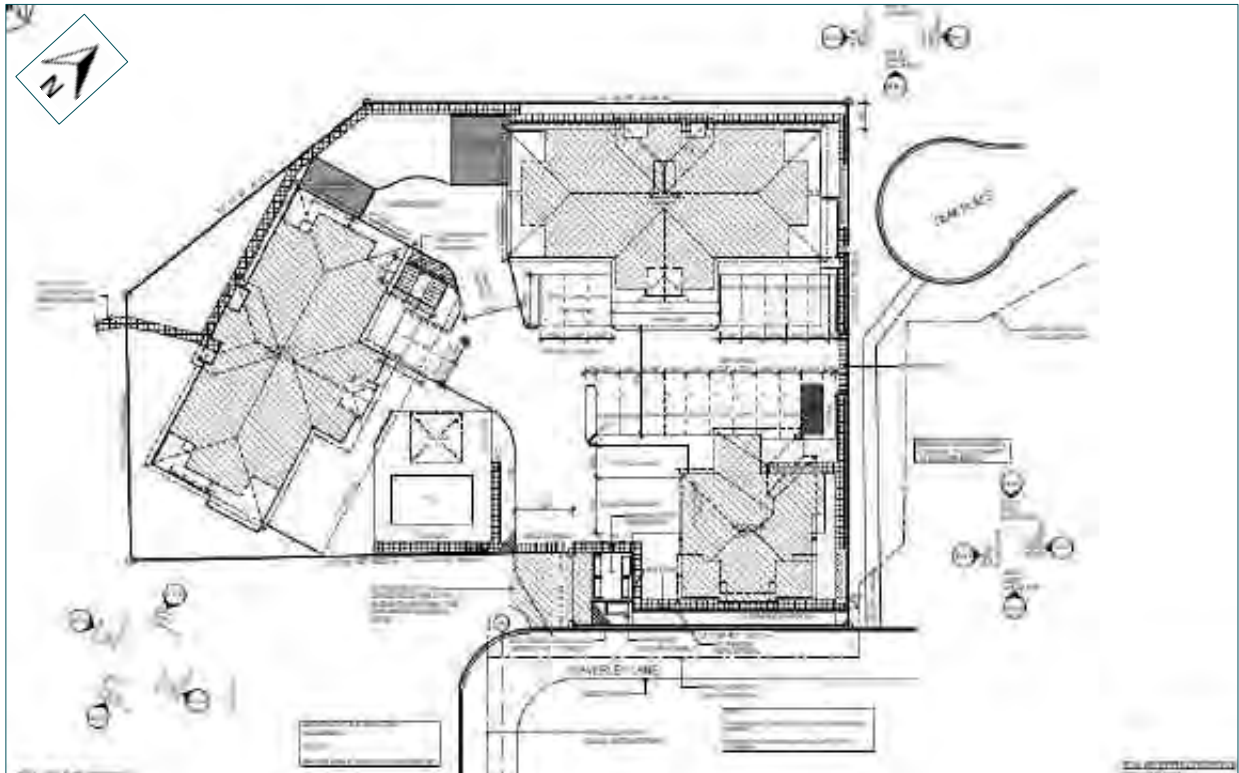


Figure 1.2 Site plan

1.3 Applicable planning scheme

The proposed development site falls under the jurisdiction of the City of Townsville (**Council**) and is governed by the *Townsville City Plan (Version 2024/01)*.

1.4 Scope

The scope of the assessment presented in this report is as follows:

- assess public transport, pedestrian and cycling accessibility to/from site and on-site
- calculate the anticipated development traffic generation and its impact to the external road network
- assess proposed car parking supply against relevant Council requirements
- review design of on-site traffic and transport operations against Australian Standards and Council's requirements
- assess site access and access configuration against Council requirements
- assess servicing arrangements, and
- complete council development code templates to accompany the development application.

2. Existing conditions

2.1 Road network

The hierarchy of the road network surrounding the development is shown in **Table 2.1**.

Table 2.1 Surrounding road network

Road name	Jurisdiction	No. of lanes (two-way)	Posted speed limit	Median divided	Hierarchy	Footpath / bicycle lanes	On-street parking
Bruce Highway	TMR ¹	4	100km/h	Yes	Highway	No provision	No provision
Riverside Boulevard	Council	2	60km/h	No	Major collector	Footpaths both sides / no bicycle lanes	Formal parking
Waverley Lane	Council	2	50km/h	No	Laneway	No provision	No provision
Notes:							
1. Department of Transport and Main Roads							

2.2 Public transport

The development is located within walking distance (<400m) of two public transport stops. The closest stop, known as 'Riverside Boulevard at Freshwater Drive, Douglas (Townsville City)' (Stop ID: 890171) is located approximately 280m south of the development site (**Figure 2.2**). This stop is serviced by one public bus route, known as '202', and has an average frequency of 60 minutes throughout the day. Locations of all stops within proximity to the development site are provided in **Figure 2.2**.

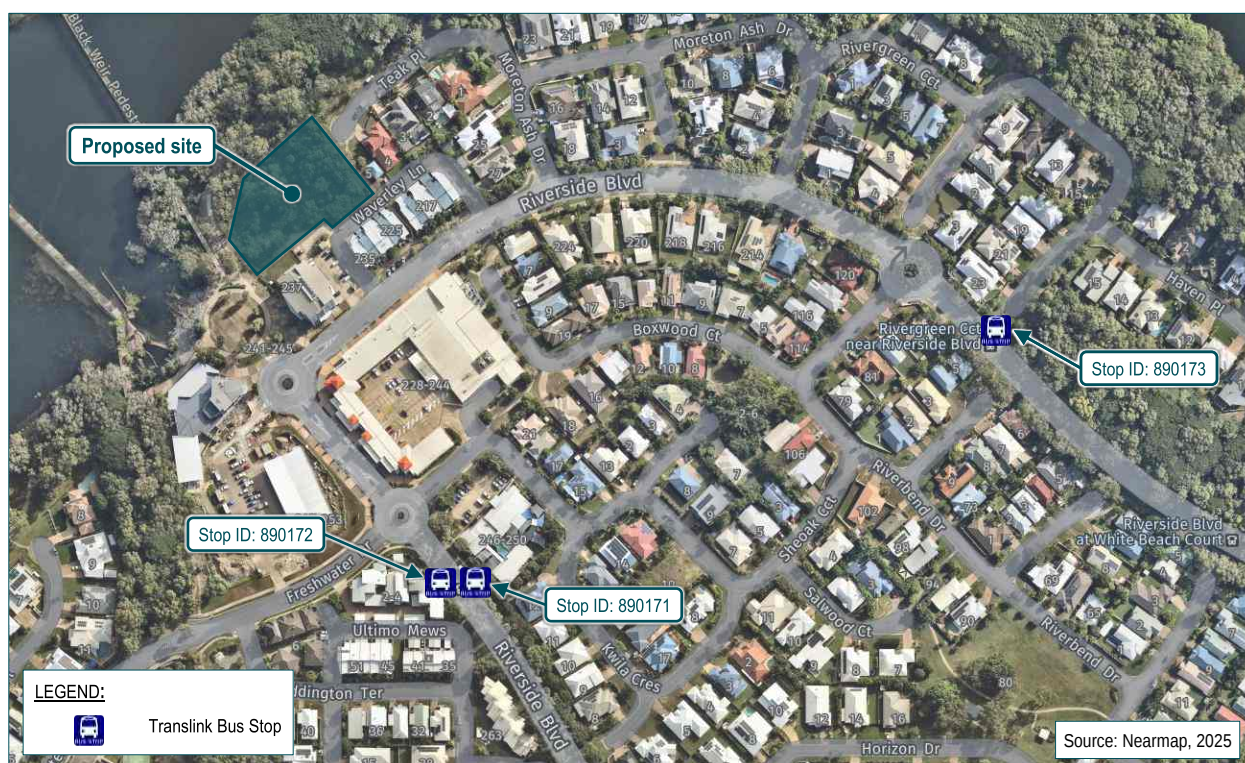


Figure 2.2 Public transport in proximity to site

2.3 Active transport

The subject site is serviced by a reasonable network of pedestrian footpaths as shown in **Figure 2.3.1** which illustrates the active transport network surrounding the proposed development.

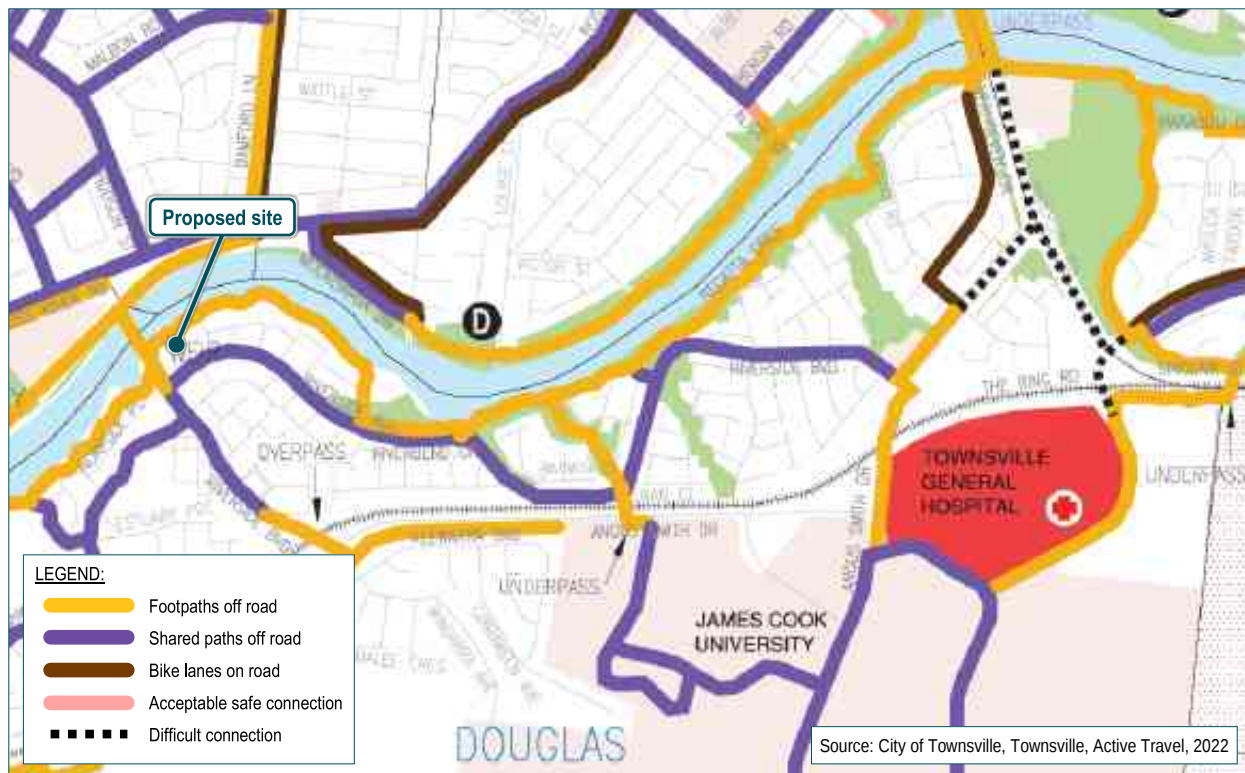


Figure 2.3.1 Active transport network

The subject site is in proximity to Riverside Boulevard which forms part of TMR's *North Queensland Principal Cycle Network* and includes provision of off road bicycle paths. The principal cycle network surrounding the proposed development and route priorities are illustrated in **Figure 2.3.2** and **Figure 2.3.3**.

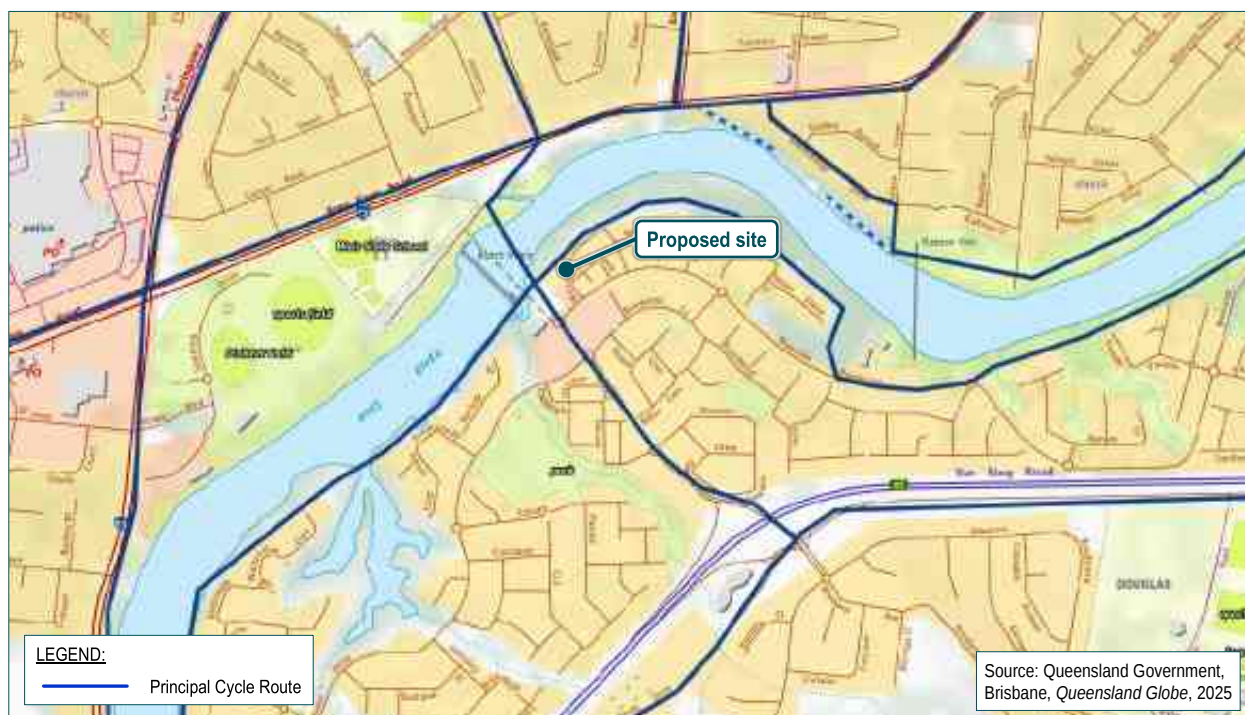


Figure 2.3.2 Principal cycle network

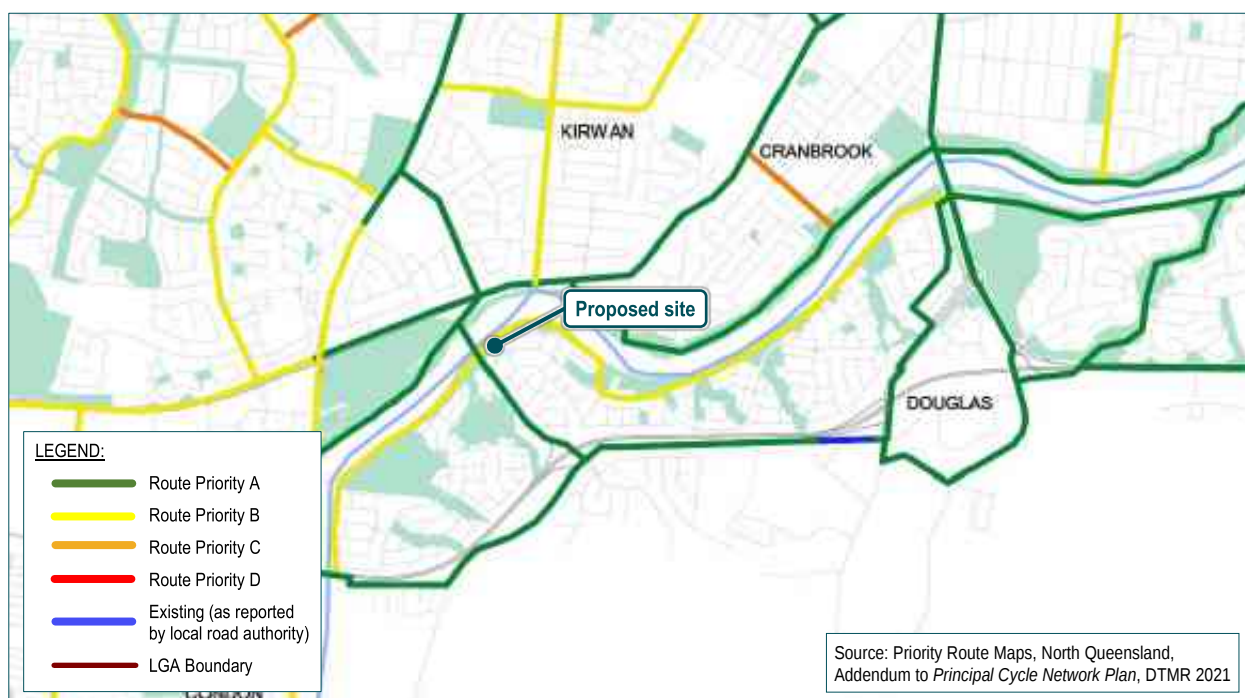


Figure 2.3.3 Priority route map

3. Traffic impact assessment

3.1 Traffic generation

A review of Council's *Townsville City Plan – Traffic impact, access and parking code* has not identified traffic generation rates for the proposed land use. In lieu of Council specific traffic generation rates, traffic generation rates for the proposed development have been based on the rates for a multiple dwelling land use as provided in the *RMS Guide to Traffic Generating Developments – Technical Direction (TDT 2013/04)*, respectively.

A summary of the expected development traffic generation is shown in **Table 3.1**.

Table 3.1 Development traffic generation rates

Land use	Car parks	Peak period	Traffic generation rate	Traffic generation volume
Multiple Dwelling	67	AM	0.35 trips per car park	24
		PM	0.26 trips per car park	18

3.2 Trip distribution

3.2.1 In / Out directional splits

TMR's guide to Traffic Impact Assessment (GTIA) stipulates:

“Peak hour development-generated traffic volumes need to be split into entry (IN) and exit (OUT) volumes for assignment of this traffic to the access intersection and to the surrounding road network.”

Typical residential In / Out traffic splits were adopted (i.e. 30% In / 70% Out in the AM peak hour, and 60% In / 40% Out during the PM peak hour). The AM and PM In / Out traffic splits of the vehicle trips are provided in **Table 3.2.1**.

Table 3.2.1 Development traffic splits

Land Use	Traffic Generation (trips)	Peak Period	IN%	IN Trips	OUT %	OUT TRIPS
Multiple Dwelling	24	AM Peak	30%	7	70%	17
	18	PM Peak	60%	11	40%	7

3.3 Traffic distribution

The development traffic distribution to / from the site on the surrounding road network has been calculated based on the development's location to key activity generators (town centres, schools, shopping centres etc.) and considers Council's *Proposed One-Way Access* working plan for Waverley Lane (**Appendix B**). The anticipated development traffic distribution percentages are shown in **Figure 3.3.1**, with the resultant traffic volumes shown in **Figure 3.3.2**.



Figure 3.3.1 Development distributions (%)



Figure 3.3.2 Development distributions (vehicles)

3.4 Traffic impacts

Given the geographical location of the development, all inbound and outbound development generated traffic will use Waverley Lane to turn into / out of the development and subsequently Riverside Boulevard. The total net traffic generation in the AM peak hour is 24 trips, which equates to one vehicle movement every 2.5 minutes. For the PM peak hour, the total net traffic generation is 18 trips, which equates to approximately one external vehicle movement every 3.3 minutes.

In addition, as shown in **Figure 3.3.2** it is expected that 22 trips in the AM peak hour and 17 trips in the PM peak hour will utilise the western Riverside Boulevard / Waverley Lane priority-controlled intersection located south of the development site. This equates to approximately one vehicle trip every 2.7 minutes in the AM peak hour and a vehicle trip every 3.5 minutes in the PM peak hour.

Regarding the eastern Riverside Boulevard / Waverley Lane priority-controlled intersection located 125m east of the development site, it is expected that 10 trips in the AM peak hour and 7 trips in the PM peak hour will be distributed through this intersection when travelling to / from the development site. This equates to a vehicle trip every 6 minutes in the AM peak hour and a vehicle trip every 8.6 minutes in the PM peak hour.

Based on the number of alternative routes available to traffic travelling to and from the development, it is expected that the existing external road network has sufficient capacity to cater for a development of this nature and scale such that further analysis is not required.

4. Parking assessment

4.1 Car parking requirements

The car parking requirements for the development have been calculated in accordance with the land use requirements stipulated in Council's *Townsville City Plan – Traffic impact, access and parking code* as shown in **Table 4.1**.

Table 4.1 Car parking requirements

Land use	Quantity	Car parking rate	Parking requirement
Multiple Dwelling	Residential component		
	Building A		
	4 Units	1.7 spaces per unit	7
	Building B		
	15 Units	1.7 spaces per unit	26
	Building C		
	15 Units	1.7 spaces per unit	26
	Total residential car parking requirement		59
	Visitor component		
	34 Units	0.2 spaces per dwelling for visitors and 1 dedicated car washing bay ¹	7
Total Parking Requirement			66
Notes: 1. A dedicated car wash bay may be integrated with visitor parking to serve both functions			

The total car parking requirement for the development is 66 car parking spaces comprising 59 resident spaces and seven visitor spaces. In accordance with the *National Construction Code (NCC) – Volume 1* for a Class 2 building, there is no requirement to provide parking spaces for People with Disabilities (PWD).

4.2 Car parking provision

The development provides a total of 67 car parking spaces inclusive of five residential parking spaces in Building A, 21 residential parking spaces in Building B, 22 residential parking spaces in Building C, 12 outdoor residential parking spaces and seven freely accessible visitor spaces and therefore complies with Council requirements. In addition to the above, the development also provides a car wash bay and one motorcycle parking space.

Car parking design for the proposed development has been undertaken generally in accordance with Australian Standard AS2890.1 – *Parking Facilities*. **Table 4.2** shows design parameters for each user class in accordance with AS2890.1.

Table 4.2 Car parking design requirement

User class	Parking bay width (m)	Parking bay length (m)	Aisle width (m)	Use
1A	2.4	5.4	5.8	Residents
2	2.5	5.4	5.8	Visitors

Other specific design parameters relating to the parking and internal road layout design have been developed generally in accordance with Australian Standard AS2890.1 – *Parking Facilities* and Council's *Townsville City Plan – Transport impact, access and parking code*.

In addition to the above, the following provisions are noted:

- vehicle speeds will be limited to a maximum of 10km/h, similar to a shared zone environment. Location of speed limit signs will be confirmed at the detailed design stage but will generally be provided at the entrance to the development site and at the exits to all car parking modules to ensure motorists are aware of the speed limit within the development site.
- any proposed gates must be positioned to ensure unrestricted access to visitor parking, service areas, and refuse collection vehicle routes, and
- bollards will be provided where lift and stairway doors open into the driveway area.

4.3 Bicycle parking requirements

A review of Council's *City Plan – Transport Impact, access and parking code* has not identified bicycle parking rates for the proposed land uses, however, recommends that appropriate bicycle parking facilities are provided. Therefore, the bicycle parking requirements for residents of the proposed development have been calculated in accordance with the land use requirements stipulated in Austroads *Guide to Traffic Management – Part 11: Parking* for a 'flat' land use as shown in **Table 4.3**.

Table 4.3 Bicycle parking requirements

Land use	Quantity	Class	Bicycle parking rate	Parking requirement
Multiple Dwelling	34 Units	Resident - class 2	1 per 3 dwellings	12

4.4 Bicycle parking provision

The development provides a total of 12 bicycle parking spaces with all spaces being allocated to residents. Resident spaces (Class 2) will be provided within a secure bicycle locker located on the ground floor level car park. Bicycle parking will be appropriately signed in accordance with relevant Council requirements.

Bicycle parking for the proposed development has been designed to comply with AS2890.3 as shown in **Table 4.4**.

Table 4.4 Bicycle parking design requirements

User	Security Level	Min. Parking envelope width (m)	Min. Parking envelope length	Min. Aisle width (m)
Residents	B ¹	0.5	1.8	1.5
Notes				
1. Parking requirements based on a horizontal parking layout with floor mounted rails.				

5. Access and servicing assessment

5.1 Access arrangement

Access to and from the development site is proposed via Waverley Lane from the existing vehicle crossing located within Easement B on SP159422 (Easement No. 706979916) which consists of an Urban Residential driveway access with an approximate width of 6m at the kerb invert. Sufficient stopping sight distance between vehicles on the access easement and vehicles exiting the development site is available based on a design speed of 20km/h (10km/h operating speed in accordance with **Section 4.2**, plus 10km/h) (**Appendix C**).

Council's *Working Plan – Proposed One-Way Access* for Waverley Lane proposes one way traffic flow to the east of the development site (**Appendix B**). Therefore, access into the development site will be limited to left in only, while egress movements can occur in all directions.

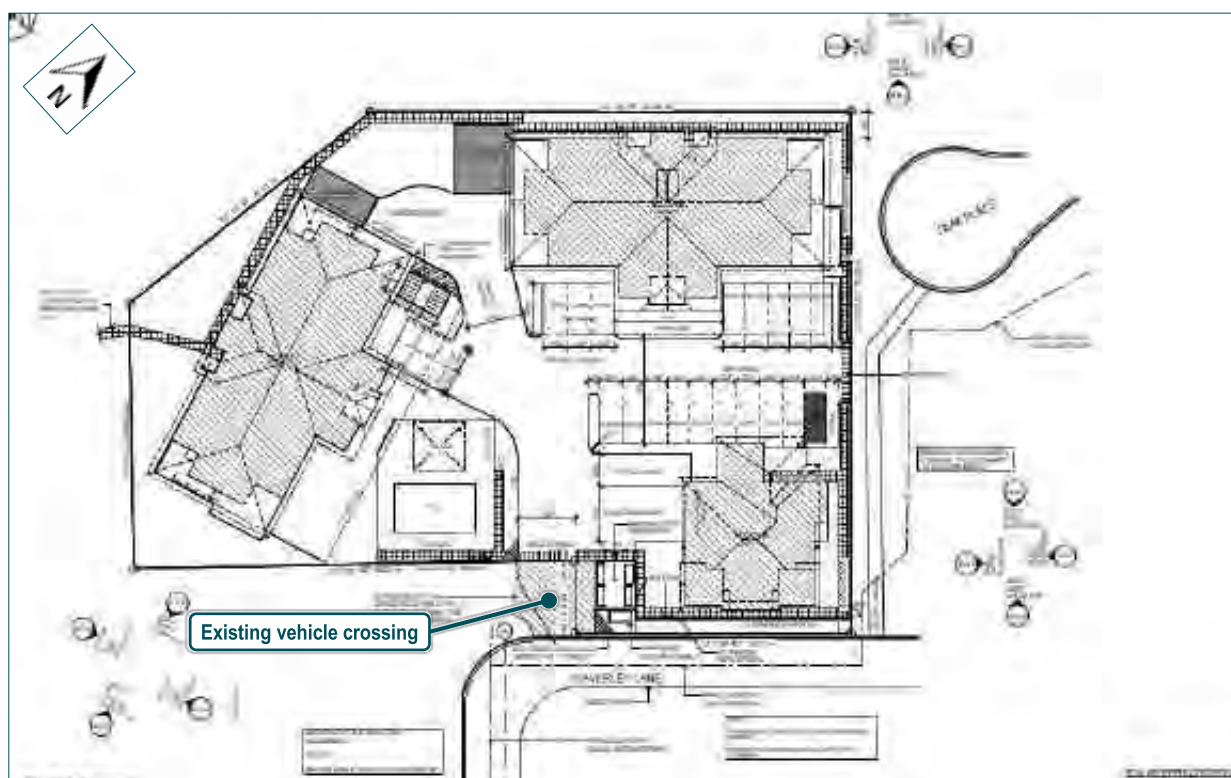


Figure 5.1 Proposed access arrangement

5.2 Sight distance assessment

A sight distance assessment has been undertaken in accordance with AS2890.1 and AS2890.2 to ensure that the location of the vehicle crossing provides sufficient sight distance for road users to find a safe gap in oncoming traffic when leaving the site. The minimum gap sight distance requirements (MGSD) for a vehicle departing the site are provided in **Table 5.2**.

Given that vehicles can only approach the development site from the western intersection between Waverly Lane and Riverside Boulevard and the 90-degree curve along Waverly Lane, it is anticipated that vehicles will be travelling at a speed of 20km/h when approaching the development site.

Table 5.2 Sight distance requirements

Frontage road	Manoeuvre type	Vehicle speed assessed (km/h)	Sight distance requirement
Waverley Lane	Vehicles approaching bends	20km/h	28.0m

Figure 5.2 shows the required sight distance and associated sight lines for vehicles travelling along Waverley Lane to vehicles departing the development site, demonstrating compliance with specified requirements.



Figure 5.2 Sight distance assessment

5.3 Servicing

A review of Council's *Townsville City Plan – Traffic impact, access and parking code* does not stipulate service vehicle requirements for the proposed land use. However, based on the proposed development being residential, vehicle sizes up to an 8.8m Medium Rigid Vehicle (**MRV**) will need to be catered for. The development provides an MRV loading bay designed in accordance with AS2890.2. In addition to providing a loading bay for a MRV, the development site provides sufficient space for a front-loading Refuse Collection Vehicle (**RCV**) to enter the development site in a forward gear, service the bulk bins at the servicing point without obstructing vehicles circulating the development site, and then exit in a forward gear.

Swept path assessments have been undertaken using AutoTURN software to demonstrate that an 8.8m MRV and 10.5m RCV can satisfactorily enter the development site in a forward gear, perform a turn around manoeuvre and exit the development in a forward gear (**Appendix C**).

6. Response to development codes

A detailed review of the proposed development against Council's *Traffic impact, access and parking code* is provided in **Appendix D**.

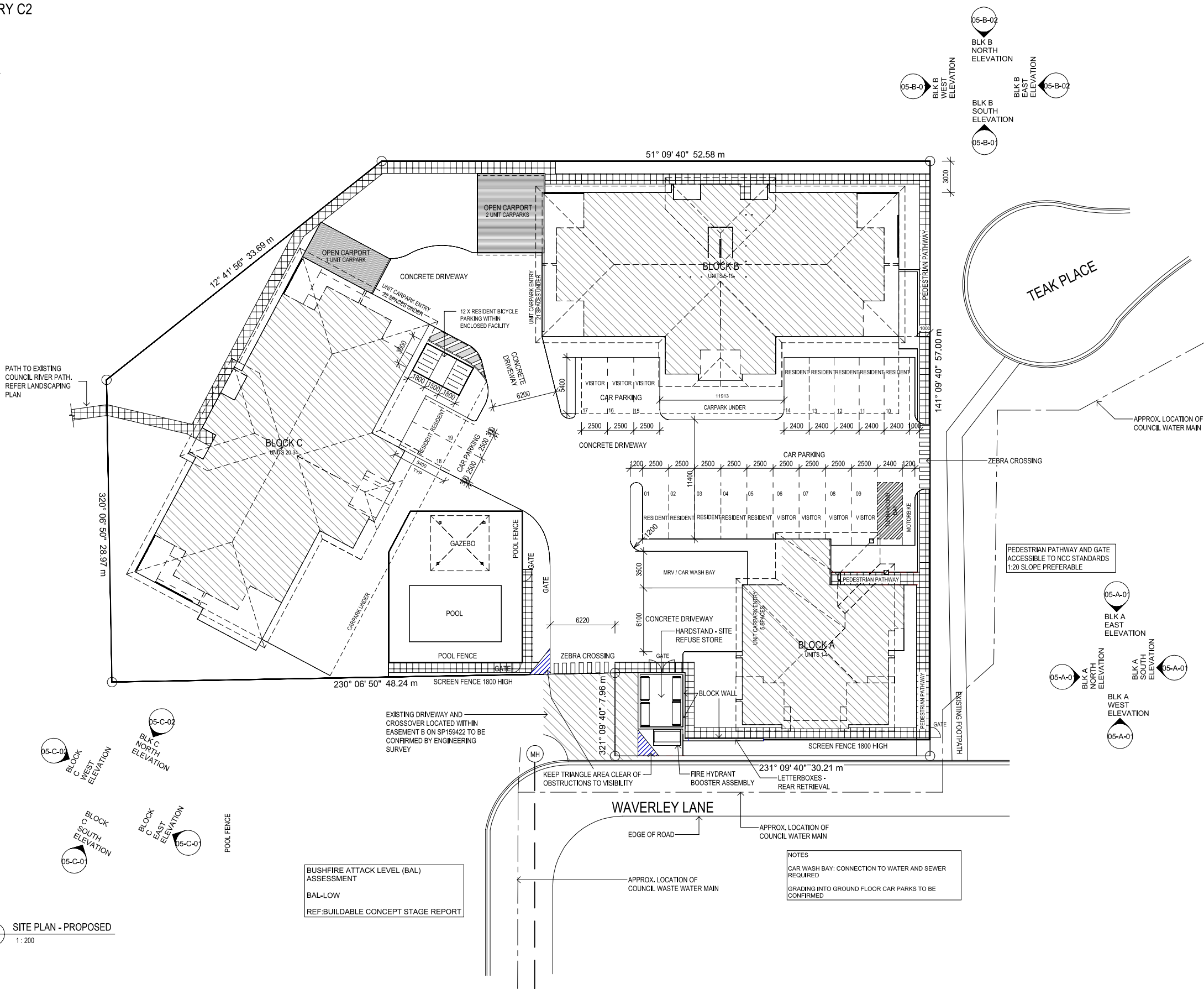
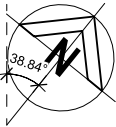
7. Conclusion

This report presents the findings related to assessment of traffic and transport related matters for a proposed development located at 12-14 Waverley Lane, Douglas. Based on the assessment undertaken, it can be concluded that the proposed development will not introduce any adverse traffic or transport impacts which would prevent its approval with appropriate conditions.

8. References

1. City of Townsville, *Townsville City Plan (Version 2024/01)*, Townsville.
2. Queensland Government (Department of Transport and Main Roads), *Guide to Traffic Impact Assessment*, December 2018, Brisbane.
3. New South Wales Government (Roads and Maritime Services), *Guide to Traffic Generating Developments - Technical Direction (TDT2013/04)*, 2014, Sydney.
4. Australian Building Codes Board, *National Construction Code (NCC) Volume 1*, May 2022.
5. Standards Australia/Standards New Zealand 2004, *AS2890.1: Off-street Car Parking Facilities*.
6. Standards Australia/Standards New Zealand 2015, *AS2890.2: Off-street Commercial Vehicle Facilities*.
7. Austroads, *Guide to Road Design Part 4A: Unsignalised and Signalised Intersections*, 2023, Sydney.

Appendix A Plans of development



1 SITE PLAN - PROPOSED
1 : 200

BUSHFIRE ATTACK LEVEL (BAL)
ASSESSMENT
BAL-LOW
REF:BUILDABLE CONCEPT STAGE REPORT

NOTES
CAR WASH BAY: CONNECTION TO WATER AND SEWER
REQUIRED
GRADING INTO GROUND FLOOR CAR PARKS TO BE
CONFIRMED

REAL PROPERTY DESCRIPTION
LOT 999 ON SP 159422
AREA OF LAND: 3869m²
LOCAL GOVERNMENT: TOWNSVILLE CITY COUNCIL

NOTES:
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10	29.09.25	RADIUS CHANGE
9	19.09.25	CAR PARKING CHANGES
8	18.09.25	DELETE PATH / MOVE GATE
7	11.09.25	DA AMENDMENTS
6	10.06.25	MECH SCHEDULE ADDED
5	10.06.25	AREA SCHEDULES
4	06.06.25	TRAFFIC TO TCC SKETCH
3	30.05.25	SITE / TRAFFIC UPDATE
2	29.05.25	RESPONSE TO CERTIFIER
1	17.04.25	PRELIMINARY
REV	ISSUE	DATE
		DESCRIPTION

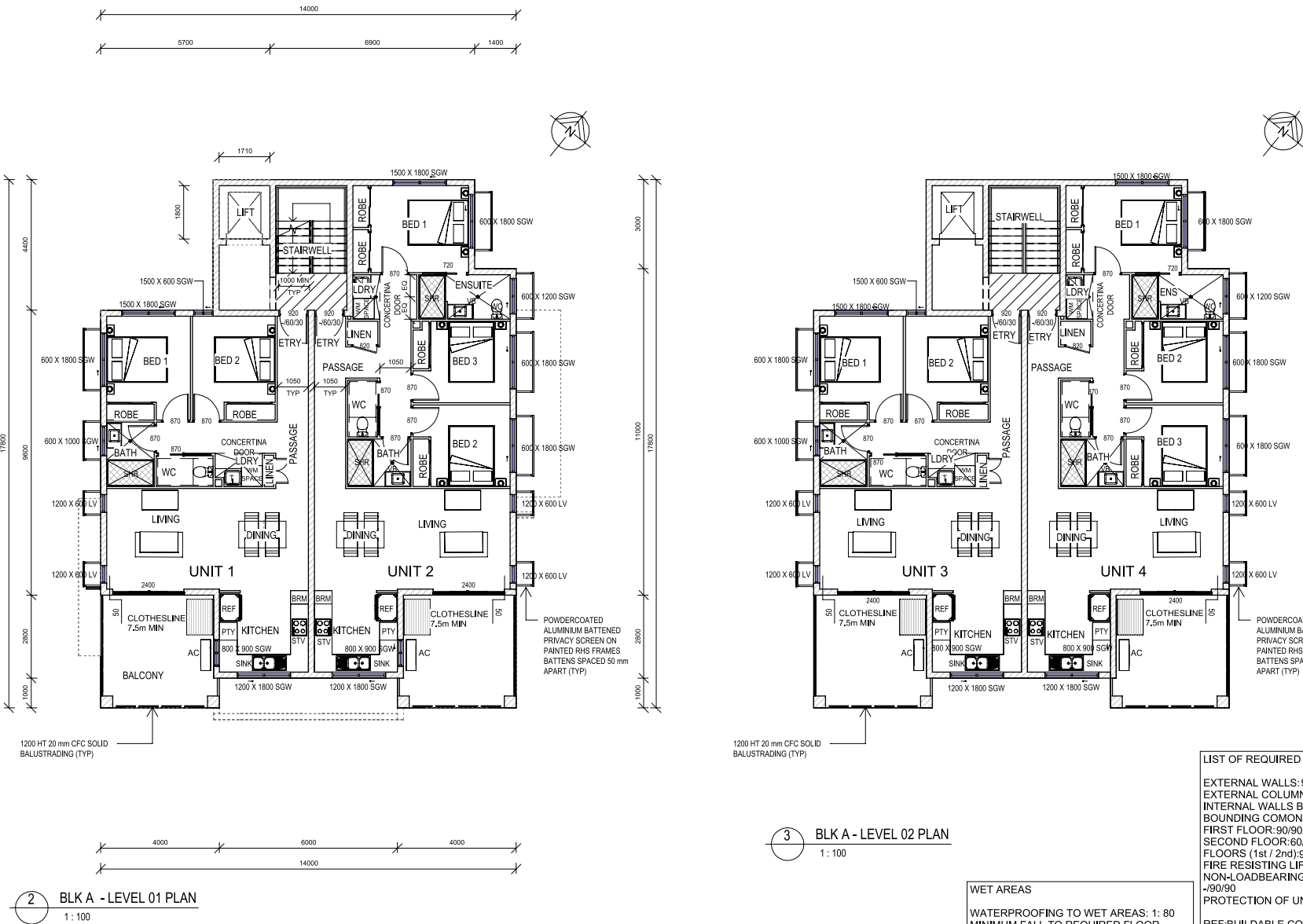
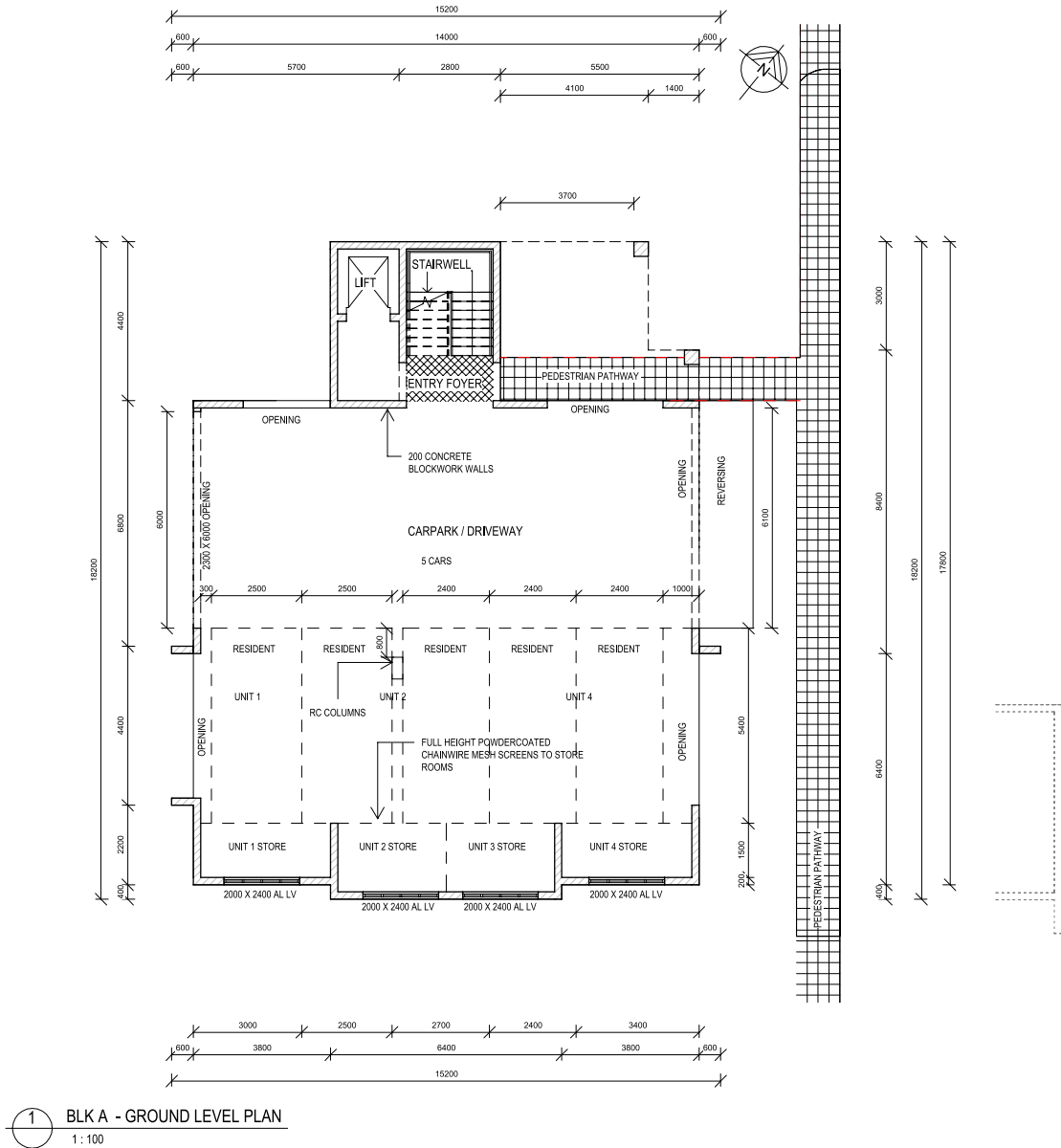
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a: 19 Castlemaine St Kirwan Qld 4814
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QBCC LICENCE NO. 15046263
BUILDING DESIGN OPEN RISE



Project: PROPOSED MULTIPLE
DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE,
DOUGLAS

TITLE: SITE PLAN -
PROPOSED
Date: 17.04.25 Drawn: D.A.
Scale: As
indicated Designed: N.H.
Job No.: Drawing No.: Rev.
2025-093-R DD 02 10

MECHANICAL EQUIPMENT SCHEDULE	
MARK	DESCRIPTION
AC	AIR CONDITIONING CONDENSER



LIST OF REQUIRED FRLs	
EXTERNAL WALLS: 90/60/30	
EXTERNAL COLUMNS 90/-	
INTERNAL WALLS BETWEEN SOUs AND BOUNDING COMMON STAIRWAY	
FIRST FLOOR: 90/90/90	
SECOND FLOOR: 60/60/60	
FLOORS (1st / 2nd): 90/90/90	
FIRE RESISTING LIFT SHAFT: 90/90/90	
NON-LOADBEARING SERVICE SHAFTS: -/90/90	
PROTECTION OF UNIT DOORS: -/60/30	
REF: BUILDABLE CONCEPT STAGE REPORT	
BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT	
BAL-LOW	
REF: BUILDABLE CONCEPT STAGE REPORT	
OPENINGS INTO SERVICES SHAFTS MUST BE PROTECTED PER NCC VOLUME 1, PART C4D14	
EXTERNAL BALCONY WEATHERPROOFING	
MINIMUM STEPDOWN TO BALCONIES 50mm	
1:100 FALL AWAY FROM EXTERNAL WALLS IN ACCORDANCE WITH AS 4654.2	
CONDENSATION MANAGEMENT TO NCC VOLUME 1, PART F8	

WET AREAS	
WATERPROOFING TO WET AREAS: 1: 80	
MINIMUM FALL TO REQUIRED FLOOR	
WASTES IN LAUNDRY AND BATHROOMS	
WET AREA CONSTRUCTION TO AS 3740	
INCL. WATER RESISTANT SURFACE MATERIALS	
CONSTRUCTION TO LIVABLE HOUSING DESIGN STANDARD, AUSTRALIAN BUILDING CODES BOARD	
SOUND TRANSMISSION AND INSULATION	
FLOORS IN CLASS 2 & 3 - $R_w + C_{tr}$ (AIRBORNE) NOT LESS THAN 50 AND AN L_n, W (IMPACT) NOT MORE THAN 62.	
REF: NCC VOL. 1, PART F7D5	
WALLS IN CLASS 2 & 3 - $R_w + C_{tr}$ (AIRBORNE) NOT LESS THAN 50.	
REF: NCC VOL. 1, PART F7D6	

NOTES:
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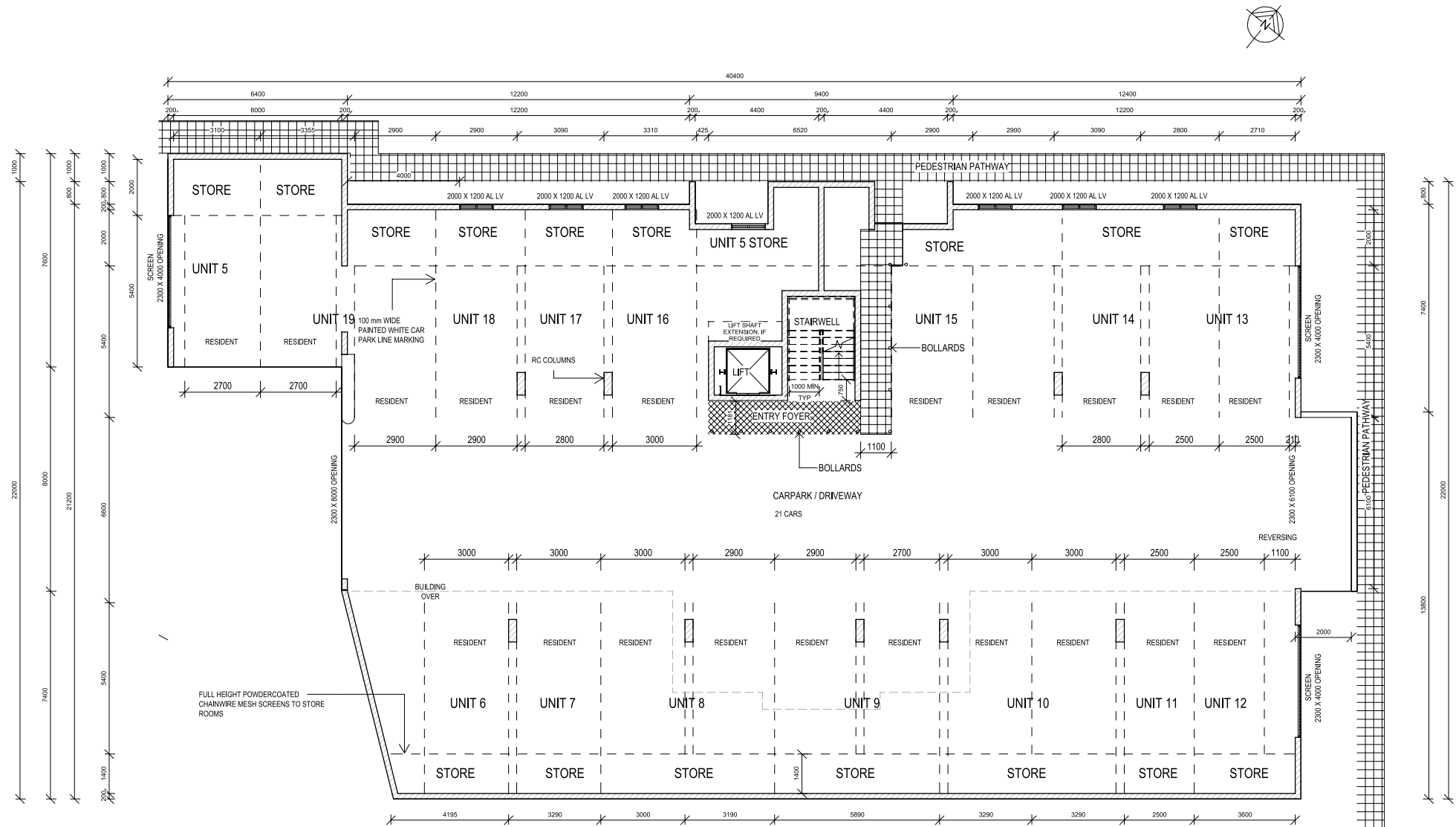
REV	ISSUE	DATE	DESCRIPTION
10		29.09.25	RADIUS CHANGE
9		19.09.25	CAR PARKING CHANGES
8		18.09.25	DELETE PATH / MOVE GATE
7		11.09.25	DA AMENDMENTS
6		10.06.25	MECH SCHEDULE ADDED
5		10.06.25	AREA SCHEDULES
4		06.06.25	TRAFFIC TO TCC SKETCH
3		30.05.25	SITE / TRAFFIC UPDATE
2		29.05.25	RESPONSE TO CERTIFIER

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Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: BCK A - FLOOR PLANS
Date: 17.04.25 Drawn: DE
Scale: 1 : 100 Designed: Designer
Job No.: 2025-093-R Drawing No.: DD 04-A-01 Rev. 10



1 BLK B - GROUND LEVEL PLAN
1 : 100

LIST OF REQUIRED FRLs
EXTERNAL WALLS: 90/60/30
EXTERNAL COLUMNS 90/-
INTERNAL WALLS BETWEEN SOUs AND BOUNDING COMMON STAIRWAY
FIRST FLOOR: 90/90/90
SECOND FLOOR: 90/60/60
FLOORS (1st / 2nd): 90/90/90
FIRE RESISTING LIFT SHAFT: 90/90/90
NON-LOADBEARING SERVICE SHAFTS: -/90/90
PROTECTION OF UNIT DOORS: -/60/30
REF: BUILDABLE CONCEPT STAGE REPORT
BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT
BAL-LOW
REF: BUILDABLE CONCEPT STAGE REPORT

NOTES:
1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
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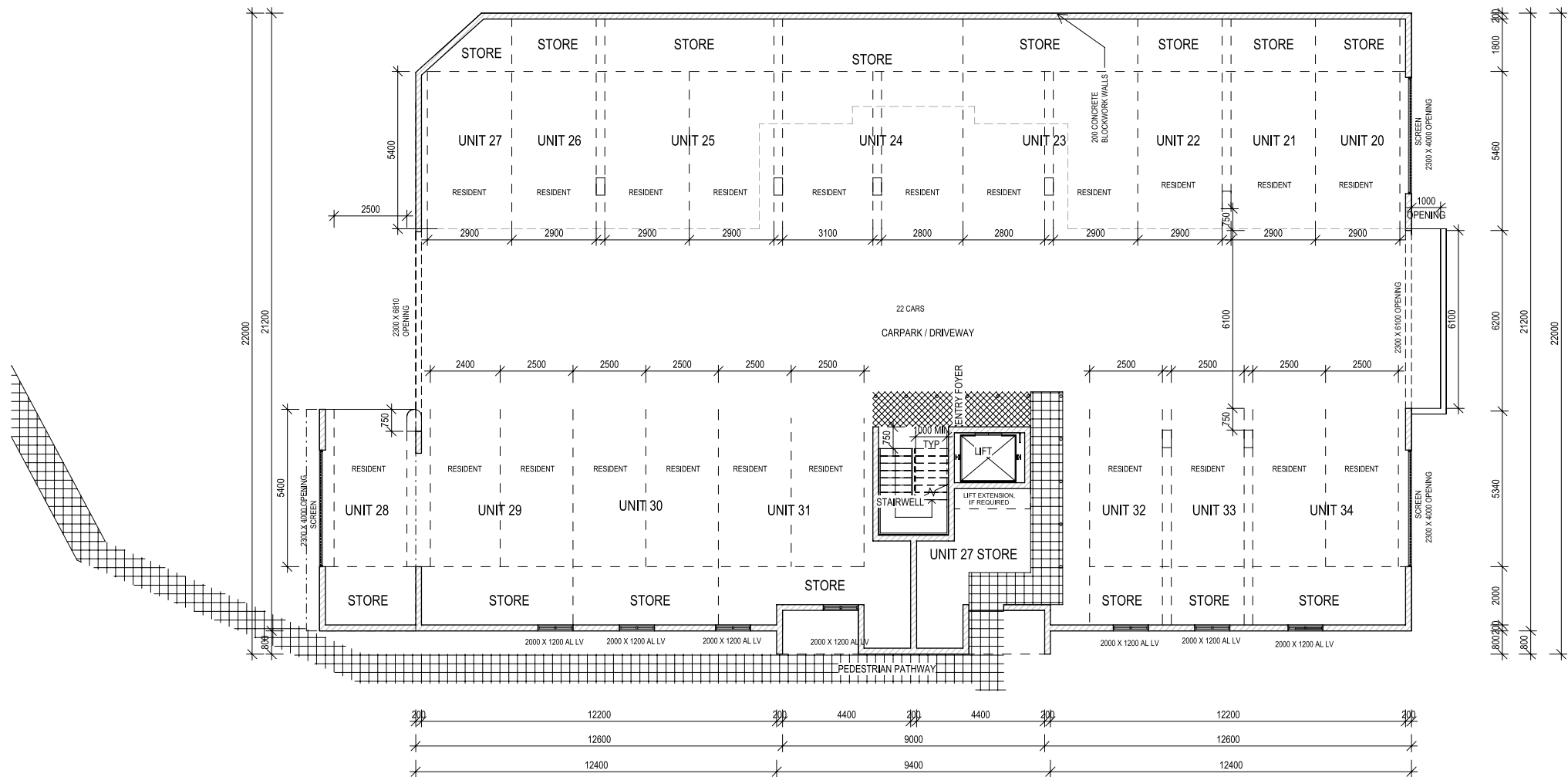
REV	ISSUE	DATE	DESCRIPTION
10	29.09.25	RADIUS CHANGE	
9	19.09.25	CAR PARKING CHANGES	
8	18.09.25	DELETE PATH / MOVE GATE	
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5	10.06.25	AREA SCHEDULES	
4	06.06.25	TRAFFIC TO TCC SKETCH	
3	30.05.25	SITE / TRAFFIC UPDATE	
2	29.05.25	RESPONSE TO CERTIFIER	

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BUILDING DESIGN OPEN RISE



Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: BCK B - FLOOR PLAN - GROUND LEVEL
Date: 17.04.25 Drawn: DE
Scale: 1 : 100 Designed: Designer
Job No.: 2025-093-R Drawing No.: DD 04-B-01 Rev. 10



1 BLK C - GROUND LEVEL PLAN
1 : 100

LIST OF REQUIRED FRLs
EXTERNAL WALLS: 90/60/30
EXTERNAL COLUMNS 90/-
INTERNAL WALLS BETWEEN SOUs AND BOUNDING COMON STAIRWAY
FIRST FLOOR: 90/90/90
SECOND FLOOR: 90/90/90
THIRD FLOOR: 60/60/60
FLOORS (1st - 3rd): 90/90/90
FIRE RESISTING LIFT SHAFT: 90/90/90
NON-LOADBEARING SERVICE SHAFTS: -/90/90
PROTECTION OF UNIT DOORS: -/60/30
REF: BUILDABLE CONCEPT STAGE REPORT
BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT
BAL-LOW

REF: BUILDABLE CONCEPT STAGE REPORT

NOTES:
1. VERIFY ALL LEVELS & DIMENSIONS BEFORE COMMENCING ANY FABRICATION
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REV	ISSUE	DATE	DESCRIPTION
10	29.09.25	RADIUS CHANGE	
9	19.09.25	CAR PARKING CHANGES	
8	18.09.25	DELETE PATH / MOVE GATE	
7	11.09.25	DA AMENDMENTS	
6	10.06.25	MECH SCHEDULE ADDED	
5	10.06.25	AREA SCHEDULES	
4	06.06.25	TRAFFIC TO TCC SKETCH	
3	30.05.25	SITE / TRAFFIC UPDATE	
2	29.05.25	RESPONSE TO CERTIFIER	

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BUILDING DESIGN OPEN RISE



Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: BLK C - FLOOR PLAN - GROUND LEVEL
Date: 17.04.25 Drawn: Author
Scale: 1 : 100 Designed: Designer
Job No.: 2025-093-R Drawing No.: DD 04-C-01 Rev: 10

Appendix B Waverley Lane one-way access working plan



Construction Notes:

- 1) The proposed work plan was prepared using scaled off aerial imagery due to absent of latest topographic survey.
- 2) All design and dimension to be confirmed on-site prior commencement of works.
- 3) All signage and pavement marking to be installed in accordance with TCC Std Drg SD-060 and AS1742.2 unless otherwise noted.
- 4) Before You Dig Australia (BYDA) to be conducted to confirm existing underground services prior commencement of works.
- 5) Potholing services (hydrovac) may require confirming the existing underground services.
- 6) Please contact Fel Ngoo (0435 768 073) if have any queries.

ENGINEERING & ASSET INFRASTRUCTURE PLANNING (EAIP)

Sketch Prepared By: Fel Ngoo
Position: Senior Traffic Engineer
Date: 24/02/2025

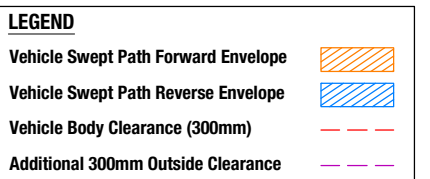
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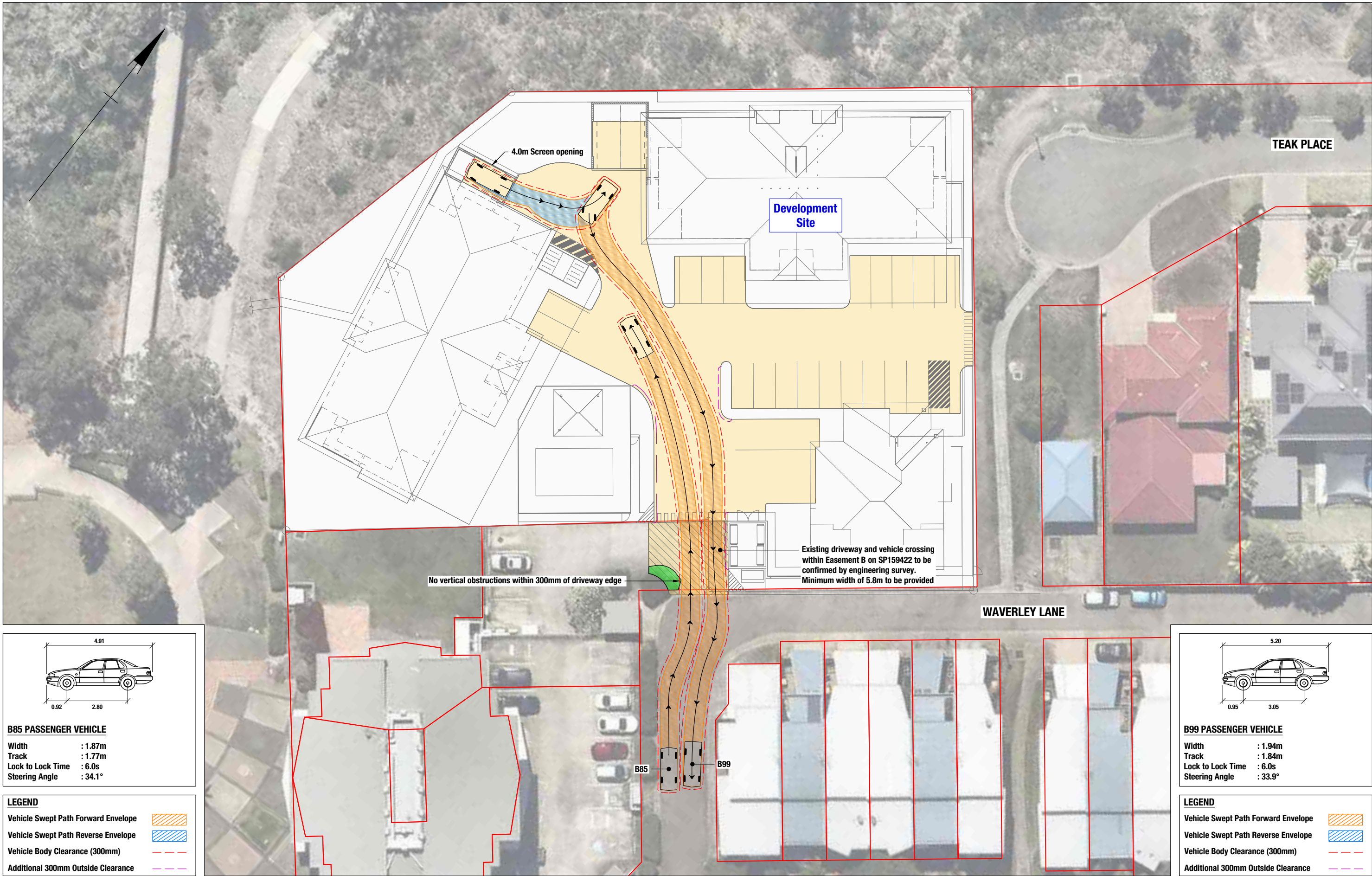
Authorised By: Michael Kaye (RPEQ 07621) *MK* (Initials)
Position: Coordinator Strategic Infrastructure Planning

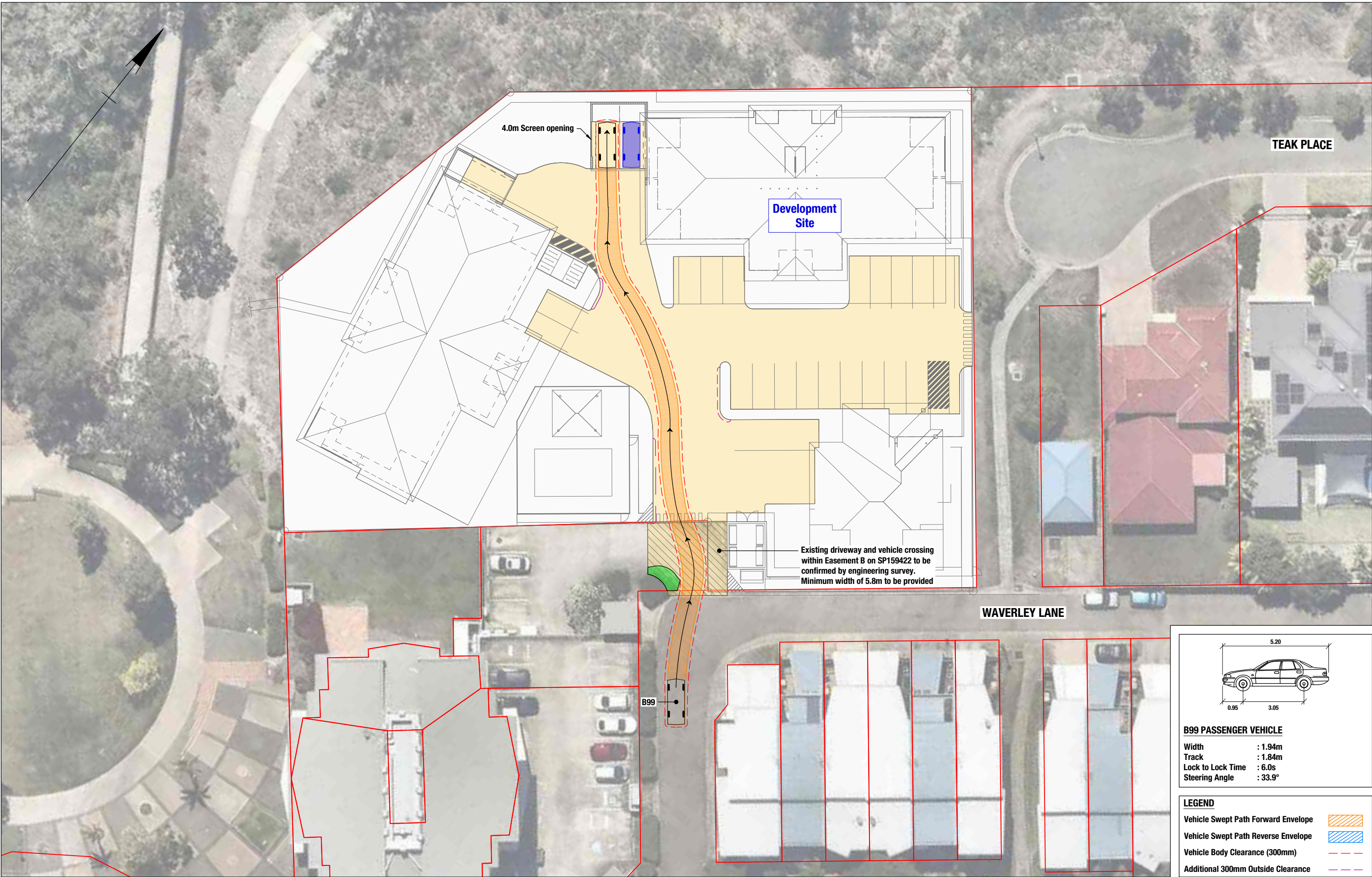
WORKING PLAN – PROPOSED ONE-WAY ACCESS

WAVERLEY LANE, DOUGLAS

Appendix C Swept path assessment







GELEON

ABN 58 668 001 303
Suite 12, Level 1, 3029 The Boulevard
Emerald Lakes, Carrara
PO Box 454 Nerang Qld 4211
tel +61 7 5594 4473

0 2 4 6 8m

12-14 WAVERLEY LANE, DOUGLAS
PROPOSED MULTIPLE DWELLING DEVELOPMENT

**SWEPT PATH ASSESSMENT
B99 PASSENGER VEHICLE
ENTRY INTO PARKING SPACE**

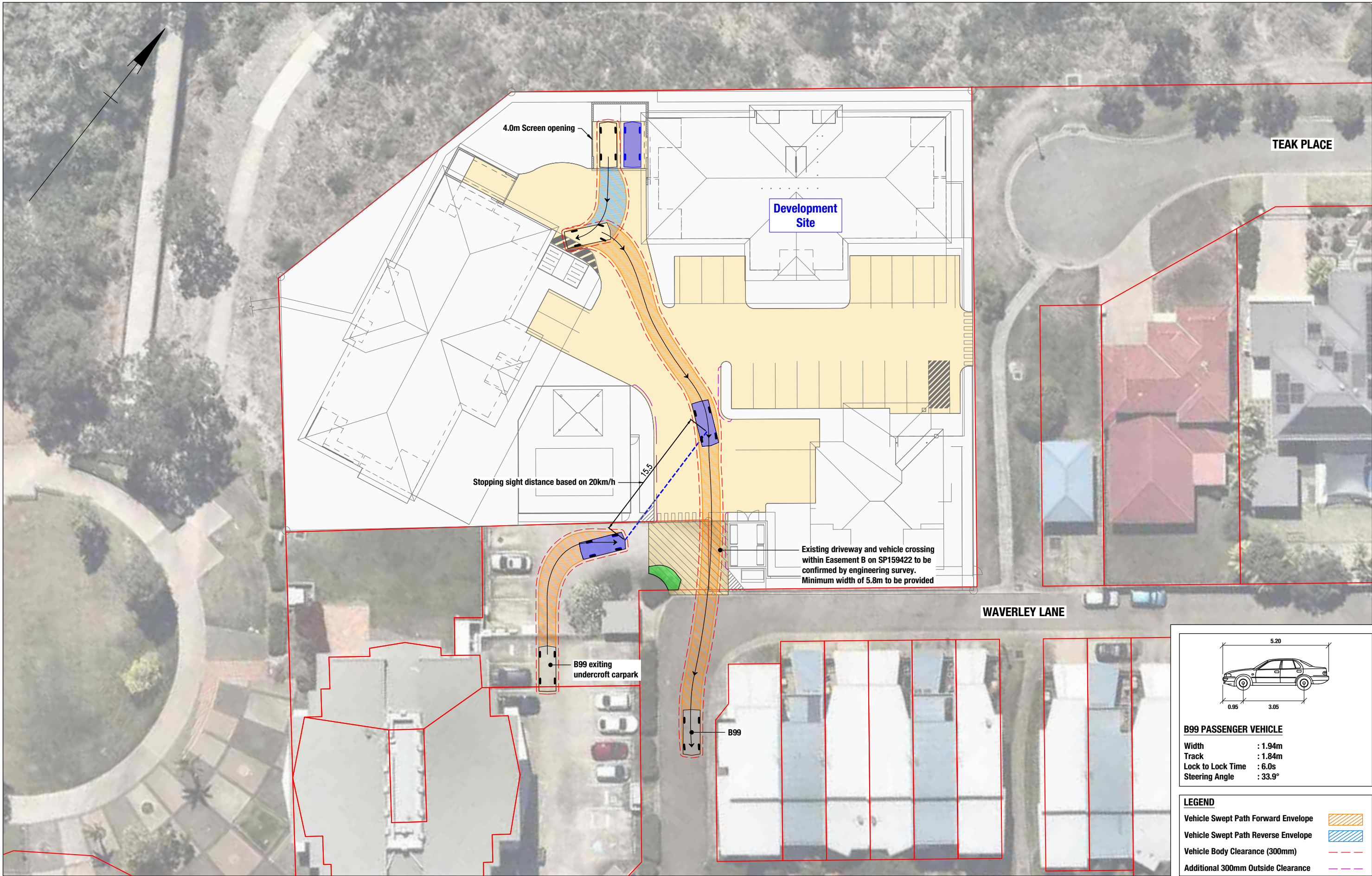
Project No.
50969

Issue Date
30/09/25

Drawing No.

50969-SP013-A

Series No. 3 of 13



GELEON

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PO Box 454 Nerang Qld 4211
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0 2 4 6 8m

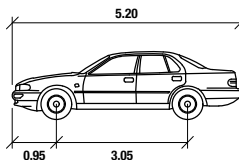
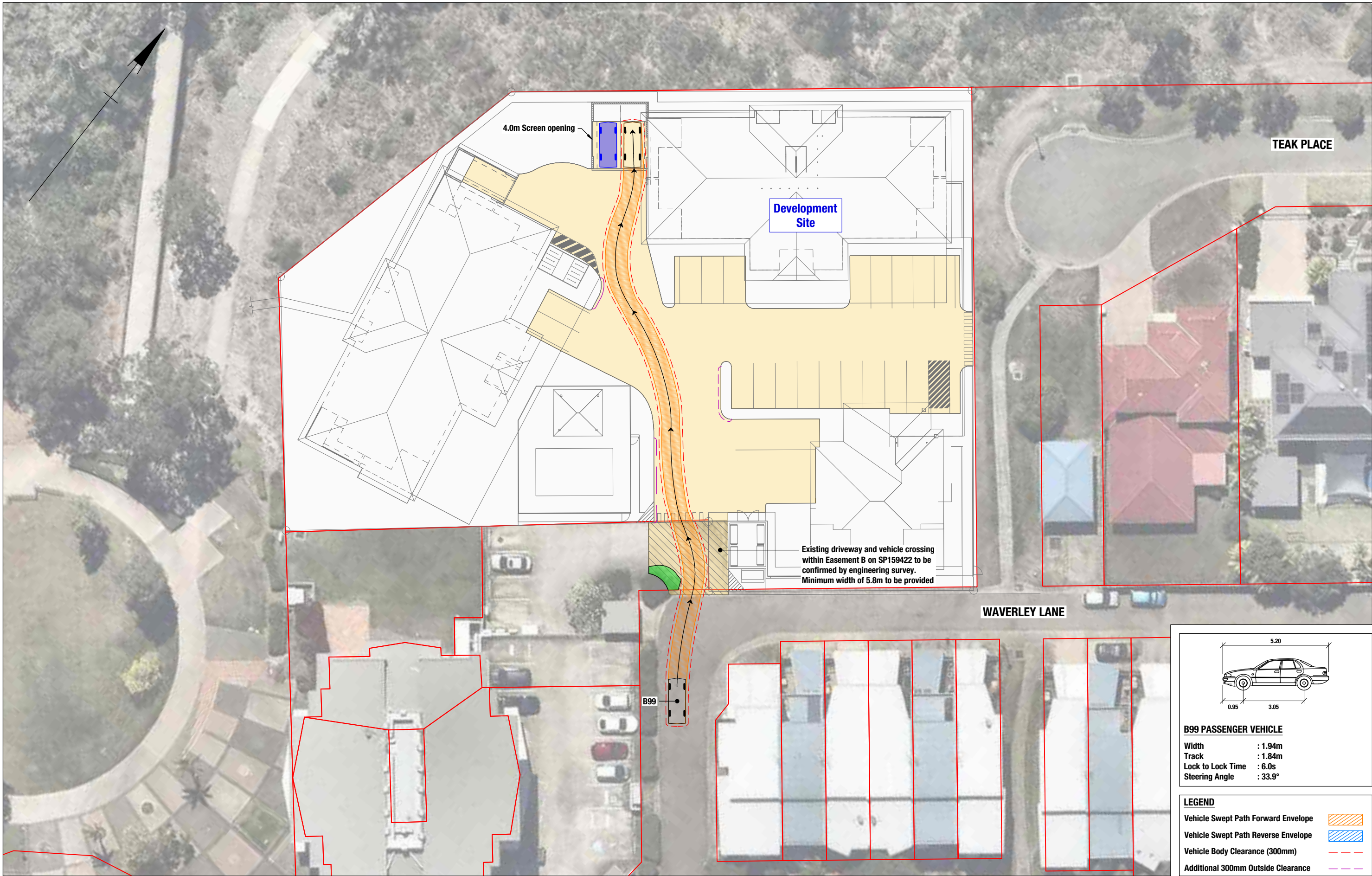
12-14 WAVERLEY LANE, DOUGLAS
PROPOSED MULTIPLE DWELLING DEVELOPMENT

**SWEEP PATH ASSESSMENT
B99 PASSENGER VEHICLE
EXIT FROM DEVELOPMENT SITE AND SIGHT DISTANCES**

Project No.
50969 Issue Date
30/09/25

Drawing No.
50969-SP014-A

Series No. 4 of 13



B99 PASSENGER VEHICLE

Width	: 1.94m
Track	: 1.84m
Lock to Lock Time	: 6.0s
Steering Angle	: 33.9°

LEGEND

Vehicle Swept Path Forward Envelope	
Vehicle Swept Path Reverse Envelope	
Vehicle Body Clearance (300mm)	
Additional 300mm Outside Clearance	

GELEON

ABN 58 668 001 303
Suite 12, Level 1, 3029 The Boulevard
Emerald Lakes, Carrara
PO Box 454 Nerang Qld 4211
tel +61 7 5594 4473

0 2 4 6 8m

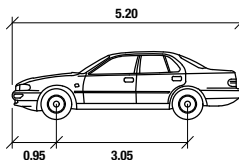
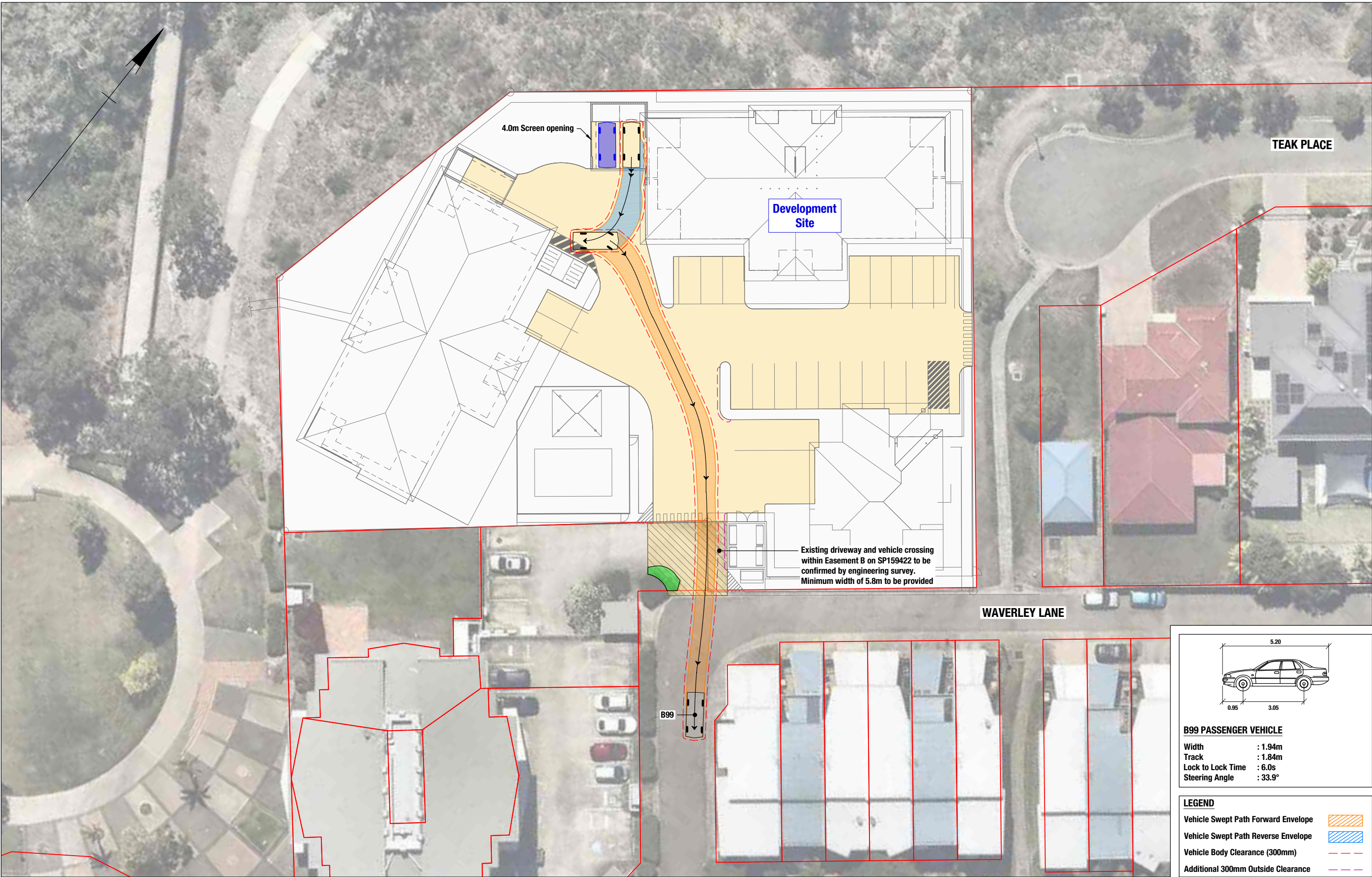
12-14 WAVERLEY LANE, DOUGLAS
PROPOSED MULTIPLE DWELLING DEVELOPMENT

**SWEPT PATH ASSESSMENT
B99 PASSENGER VEHICLE
ENTRY INTO PARKING SPACE**

Project No.
50969 Issue Date
30/09/25

Drawing No.
50969-SP015-A

Series No. 5 of 13



B99 PASSENGER VEHICLE

Width : 1.94m
Track : 1.84m
Lock to Lock Time : 6.0s
Steering Angle : 33.9°

LEGEND

- Vehicle Swept Path Forward Envelope
- Vehicle Swept Path Reverse Envelope
- Vehicle Body Clearance (300mm)
- Additional 300mm Outside Clearance

GELEON

ABN 58 668 001 303
Suite 12, Level 1, 3029 The Boulevard
Emerald Lakes, Carrara
PO Box 454 Nerang Qld 4211
tel +61 7 5594 4473

0 2 4 6 8m

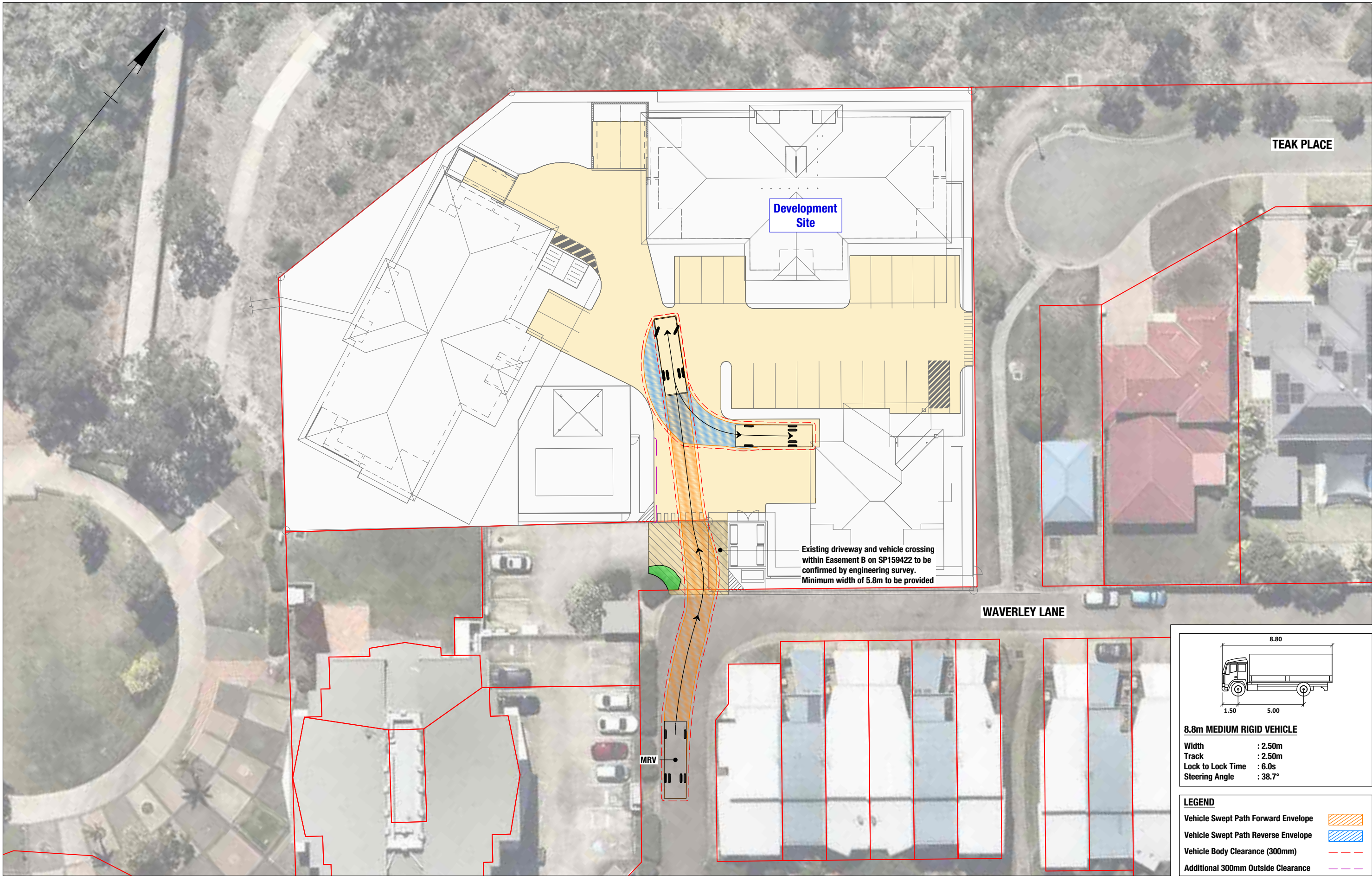
12-14 WAVERLEY LANE, DOUGLAS
PROPOSED MULTIPLE DWELLING DEVELOPMENT

**SWEPT PATH ASSESSMENT
B99 PASSENGER VEHICLE
EXIT FROM DEVELOPMENT SITE**

Project No.
50969 Issue Date
30/09/25

Drawing No.
50969-SP016-A

Series No. 6 of 13



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PO Box 454 Nerang Qld 4211
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0 2 4 6 8m

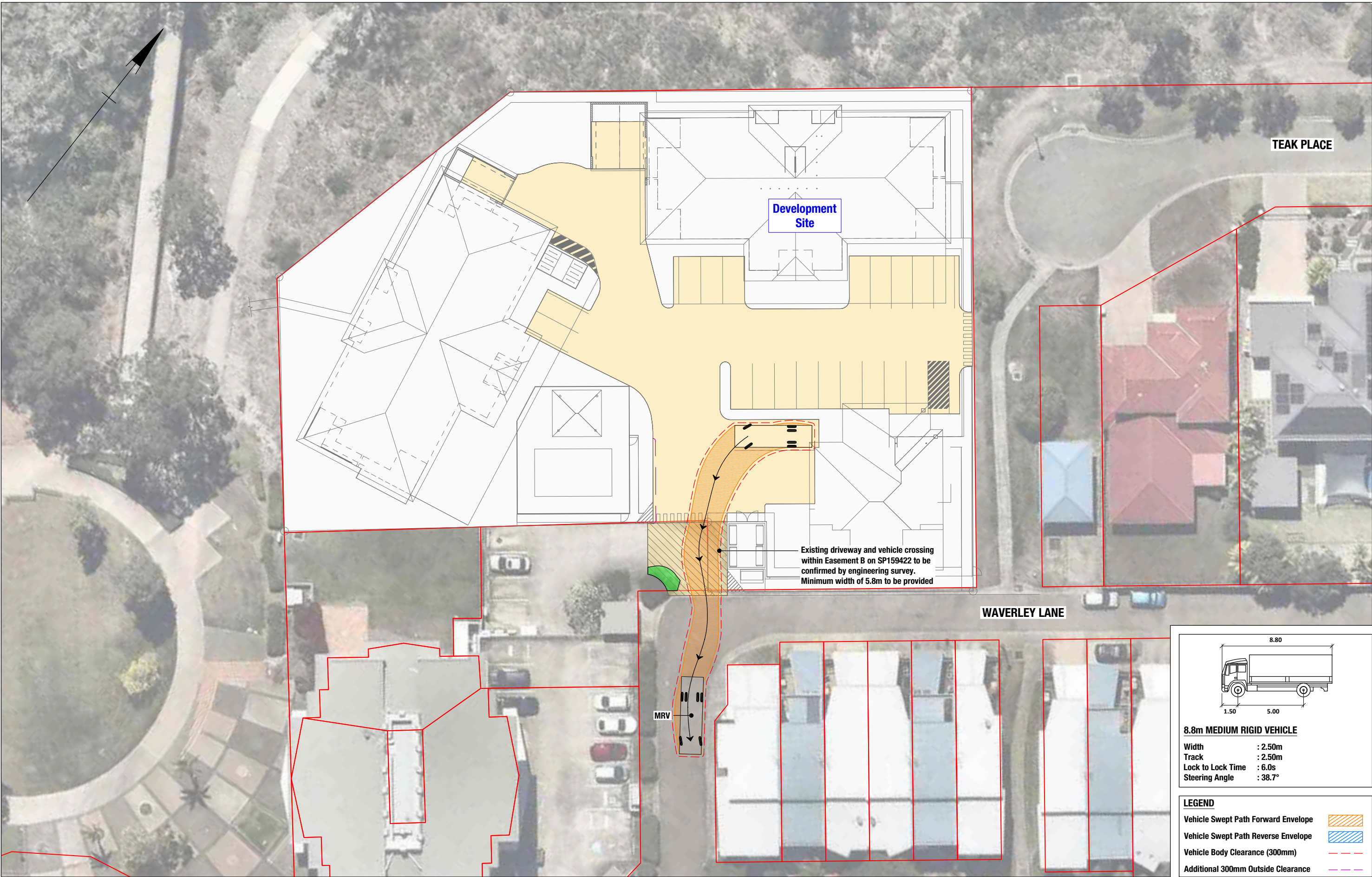
12-14 WAVERLEY LANE, DOUGLAS
PROPOSED MULTIPLE DWELLING DEVELOPMENT

SWEPT PATH ASSESSMENT
8.8m MEDIUM RIGID VEHICLE (MRV)
ENTRY INTO DEVELOPMENT SITE

Project No.
50969 Issue Date
30/09/25

Drawing No.
50969-SP017-A

Series No. 7 of 13



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PO Box 454 Nerang Qld 4211
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0 2 4 6 8m

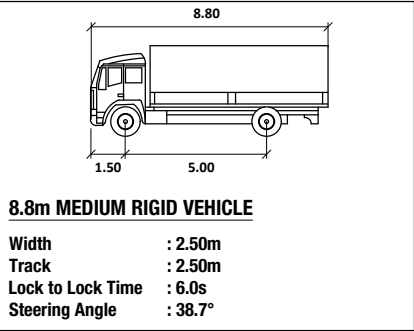
12-14 WAVERLEY LANE, DOUGLAS
PROPOSED MULTIPLE DWELLING DEVELOPMENT

SWEPT PATH ASSESSMENT
8.8m MEDIUM RIGID VEHICLE (MRV)
EXIT FROM DEVELOPMENT SITE

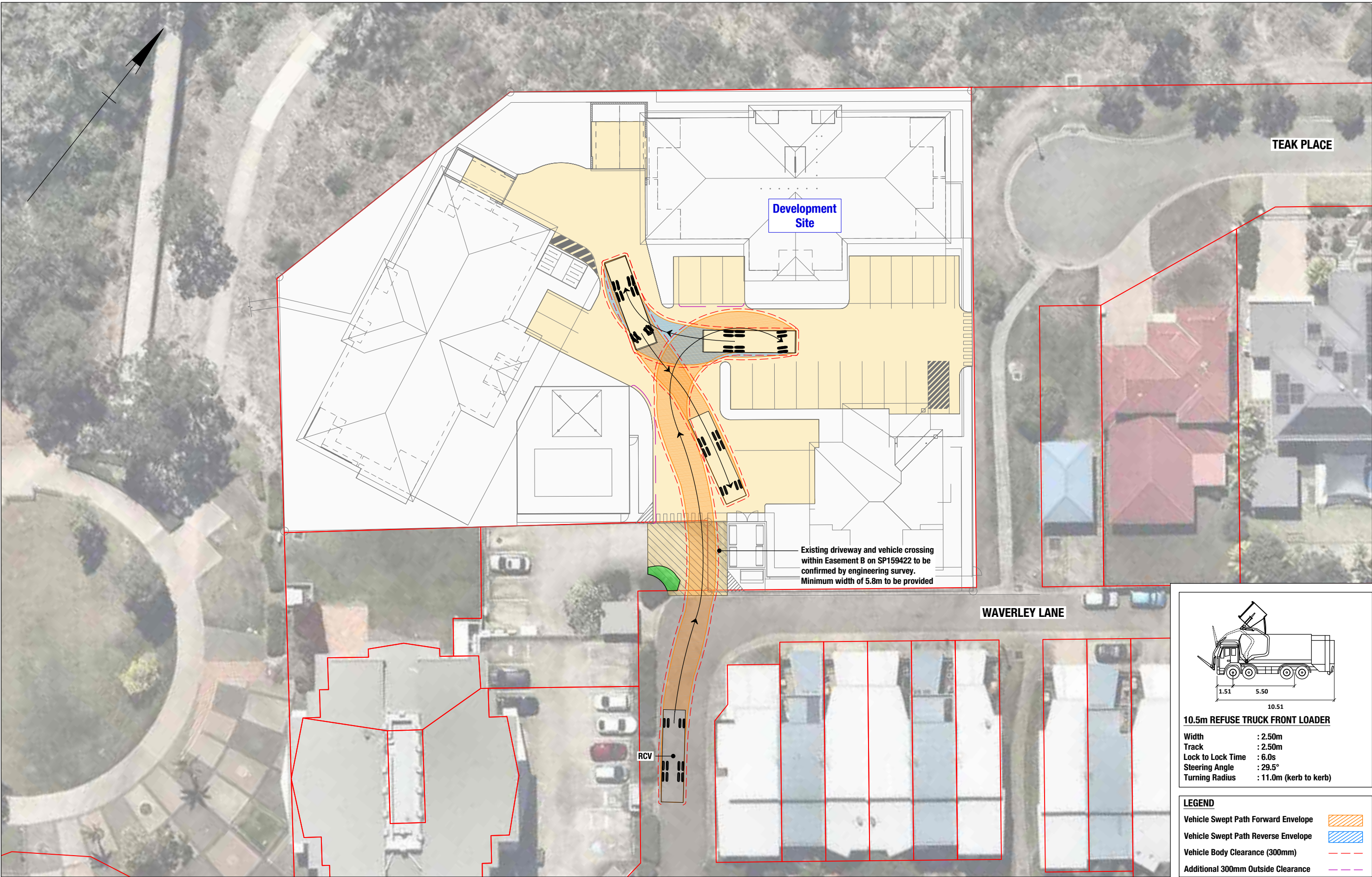
Project No.
50969 Issue Date
30/09/25

Drawing No.
50969-SP018-A

Series No. 8 of 13



LEGEND	
Vehicle Swept Path Forward Envelope	
Vehicle Swept Path Reverse Envelope	
Vehicle Body Clearance (300mm)	
Additional 300mm Outside Clearance	



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Suite 12, Level 1, 3029 The Boulevard
Emerald Lakes, Carrara
PO Box 454 Nerang Qld 4211
tel +61 7 5594 4473

0 2 4 6 8m

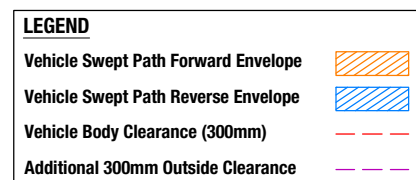
12-14 WAVERLEY LANE, DOUGLAS
PROPOSED MULTIPLE DWELLING DEVELOPMENT

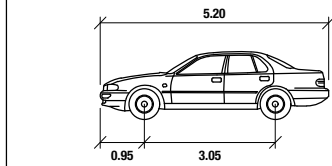
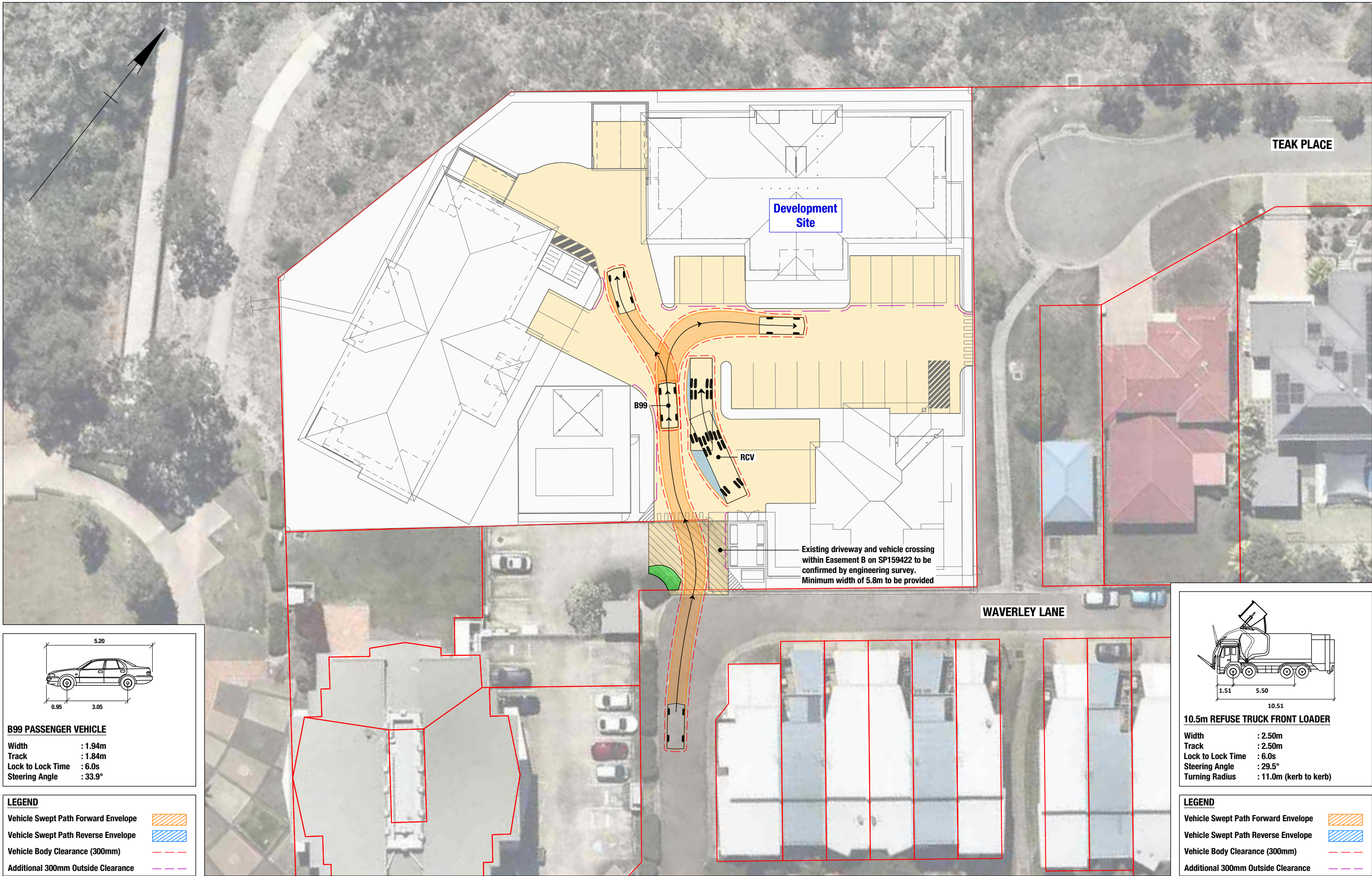
SWEPT PATH ASSESSMENT
10.5m REFUSE COLLECTION VEHICLE (RCV)
ENTRY INTO DEVELOPMENT SITE

Project No.
50969 Issue Date
30/09/25

Drawing No.
50969-SP019-A

Series No. 9 of 13



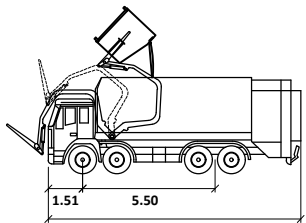


B99 PASSENGER VEHICLE

Width : 1.94m
Track : 1.84m
Lock to Lock Time : 6.0s
Steering Angle : 33.9°

LEGEND

Vehicle Swept Path Forward Envelope
Vehicle Swept Path Reverse Envelope
Vehicle Body Clearance (300mm)
Additional 300mm Outside Clearance



10.5m REFUSE TRUCK FRONT LOADER

Width : 2.50m
Track : 2.50m
Lock to Lock Time : 6.0s
Steering Angle : 29.5°
Turning Radius : 11.0m (kerb to kerb)

LEGEND

Vehicle Swept Path Forward Envelope
Vehicle Swept Path Reverse Envelope
Vehicle Body Clearance (300mm)
Additional 300mm Outside Clearance

GELEON

ABN 58 668 001 303
Suite 12, Level 1, 3029 The Boulevard
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0 2 4 6 8m

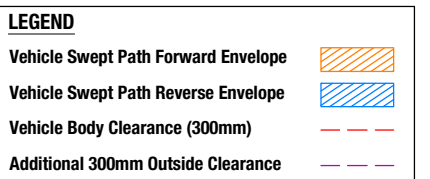
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PROPOSED MULTIPLE DWELLING DEVELOPMENT

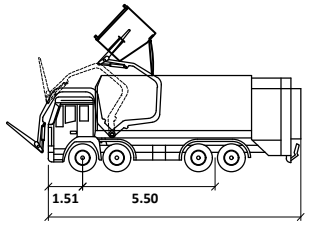
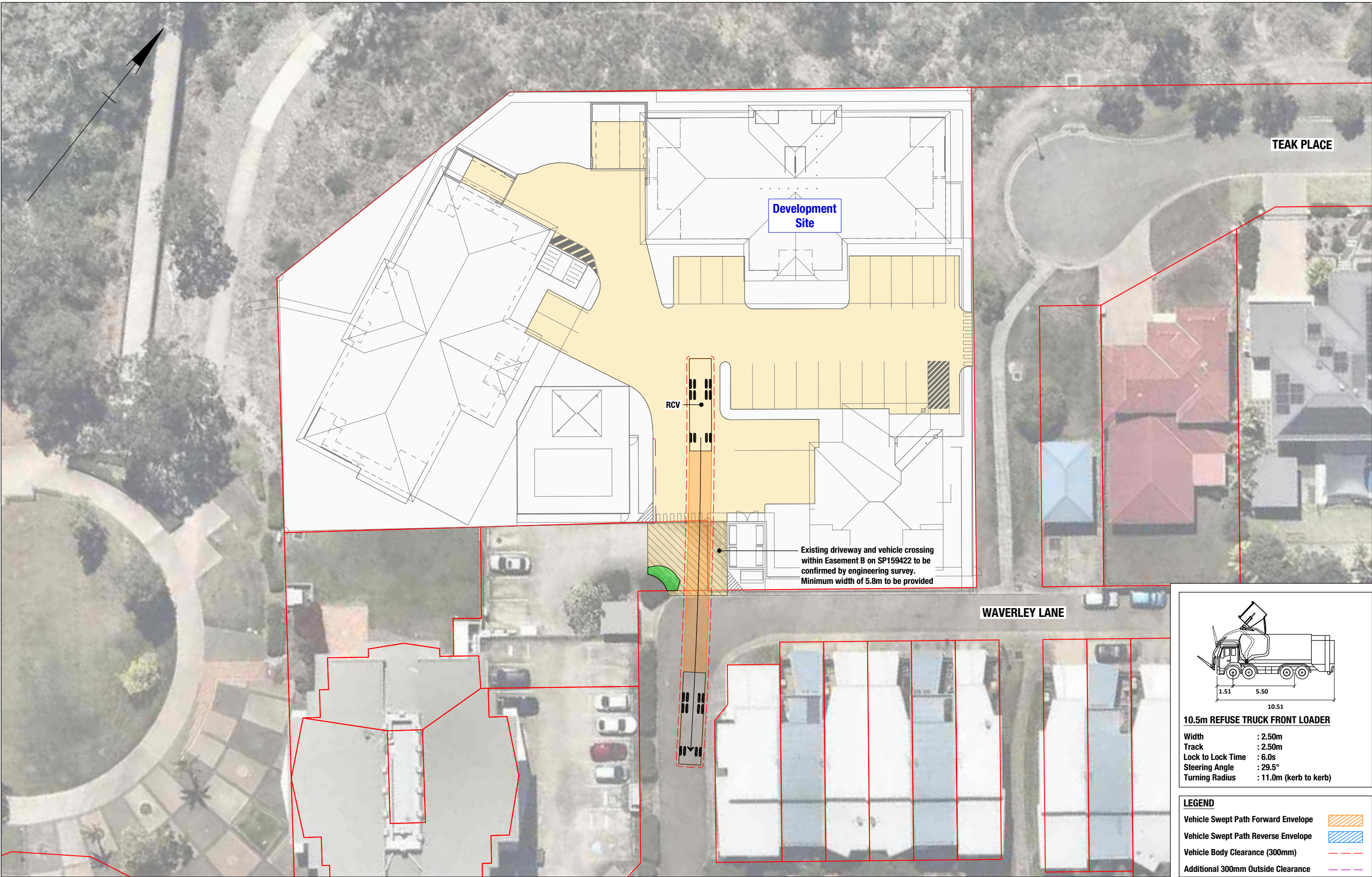
SWEPT PATH ASSESSMENT
10.5m REFUSE COLLECTION VEHICLE (RCV)
MANOEUVRE INTO STANDING AREA FOR BULK BIN CLEANING

Project No.
50969 Issue Date
30/09/25

Drawing No.
50969-SP021-A

Series No. 11 of 13





10.5m REFUSE TRUCK FRONT LOADER

Width	: 2.50m
Track	: 2.50m
Lock to Lock Time	: 6.0s
Steering Angle	: 29.5°
Turning Radius	: 11.0m (kerb to kerb)

LEGEND

Vehicle Swept Path Forward Envelope	
Vehicle Swept Path Reverse Envelope	
Vehicle Body Clearance (300mm)	
Additional 300mm Outside Clearance	



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12-14 WAVERLEY LANE, DOUGLAS
PROPOSED MULTIPLE DWELLING DEVELOPMENT

SWEPT PATH ASSESSMENT
10.5m REFUSE COLLECTION VEHICLE (RCV)
EXIT FROM DEVELOPMENT SITE

Project No.
50969 Issue Date
30/09/25

Drawing No.
50969-SP023-A

Series No. 13 of 13

Appendix D Development code responses

9.3.5 Transport Impact, Access and Parking Code

Performance outcomes	Acceptable outcomes	Comment
Transport impact		
P01 The development is located on roads that are appropriate for the nature of traffic generated, having regard to the safety and efficiency of the transport network, and the functions and characteristics identified of the road hierarchy.	AO1 No acceptable outcome is nominated.	COMPLIES WITH P01. Refer to Section 3.0 of Geleon Traffic and Transport Assessment report 50969-RP01-B which presents the findings of a traffic impact assessment on the external road network.
P02 Development does not compromise the orderly provision or upgrading of the transport network.	AO2 No acceptable outcome is nominated.	COMPLIES WITH P02. Refer to Section 3.0 of Geleon Traffic and Transport Assessment Report 50969-RP01-B which presents the findings of a traffic impact assessment on the external road network.
P03 On-site transport network infrastructure (including roads, parking, access and public transport, pedestrian and cyclist facilities) appropriately integrates and connects with surrounding networks.	AO3 No acceptable outcome is nominated.	COMPLIES WITH P03. Refer to Section 3.0 of Geleon Traffic and Transport Assessment Report 50969-RP01-B which presents the findings of a traffic impact assessment on the external road network.
Site access		
P04 As far as practicable, development is designed to encourage travel by public transport, walking and cycling.	AO4 No acceptable outcome is nominated.	COMPLIES WITH P03. Footpath connectivity is provided from the Waverley Lane road frontage into the development site separate to the vehicle access (refer to the plans of development).
P05 Access arrangements are appropriate for: (a) the capacity of the parking area; (b) the volume, frequency and type of vehicle usage; (c) the function and characteristics of the access road and adjoining road network; and (d) the safety and efficiency of the road network.	AO5 Access is provided in accordance with the standards identified in the Development manual planning scheme policy SC6.4 — SC6.4.5.5 Driveways, SC6.4.5.3 Public Transport Facilities and SC6.4.5.4 Car Parking.	COMPLIES WITH AO5. The development proposes access from Waverley Lane via the existing vehicle crossing located on Easement B on SP159422. For further details in relation to the location and form of the proposed driveway, refer to Section 5.0 of Geleon Traffic and Transport Assessment Report 50969-RP01-B .

Performance outcomes	Acceptable outcomes	Comment
P06 Where practical, access for cyclists and pedestrians is clearly distinguished from vehicle access.	AO6 No acceptable outcome is nominated.	COMPLIES WITH P06. Footpath connectivity is provided from the Waverly Lane road frontage into the development site separate to the vehicle access (refer to the plans of development).
P07 Access is located and designed to provide safe and easy access to the site, having regard to its position, width and gradient.	AO7 Access is provided in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 — SC6.4.5.5 Driveways and SC6.4.3 Standard Drawings	COMPLIES WITH AO7. The development proposes access from Waverly Lane via the existing vehicle crossing located on Easement B on SP159422. For further details in relation to the location and form of the proposed driveway, refer to Section 5.0 of Geleon Traffic and Transport Assessment Report 50969-RP01-B .
P08 All vehicles reasonably expected to use the site are able to travel the length of the driveway or driveway access without damage to vehicle or the driveway surface.	AO8 Access is provided in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 — SC6.4.5.5 Driveways, SC6.4.5.3 Public Transport Facilities and SC6.4.5.4 Car Parking.	COMPLIES WITH AO8. The development proposes access from Waverly Lane via the existing vehicle crossing located on Easement B on SP159422. For further details in relation to the location and form of the proposed driveway, refer to Section 5.0 of Geleon Traffic and Transport Assessment Report 50969-RP01-B .
P09 A driveway does not cause change in the level of a footpath that is unsafe or inaccessible for people with mobility difficulties.	AO9 Access is provided in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 — SC6.4.5.5 Driveways and SC6.4.3 Standard Drawings.	COMPLIES WITH AO9 The development proposes access from Waverly Lane via the existing vehicle crossing located on Easement B on SP159422. For further details in relation to the location and form of the proposed driveway, refer to Section 5.0 of Geleon Traffic and Transport Assessment Report 50969-RP01-B .
P010 Driveways are designed to withstand loadings from all vehicles reasonably expected to use the site.	AO10 Access is provided in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 — SC6.4.5.5 Driveways.	COMPLIES WITH AO10 The development proposes access from Waverly Lane via the existing vehicle crossing located on Easement B on SP159422. For further details in relation to the location and form of the proposed driveway, as well as proposed service vehicle requirements refer to Section 5.0 of Geleon Traffic and Transport Assessment Report 50969-RP01-B .

Performance outcomes	Acceptable outcomes	Comment
P011 A driveway does not allow water to pond on adjacent properties or adjacent buildings and does not allow water to enter a building or property.	AO11 Access is provided in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 — SC6.4.5.5 Driveways.	COMPLIES WITH AO11 The development proposes access from Waverly Lane via the existing vehicle crossing located on Easement B on SP159422. For further details in relation to the location and form of the proposed driveway, refer to Section 5.0 of Geleon Traffic and Transport Assessment Report 50969-RP01-B
P012 Construction of a driveway does not damage or interfere with the location, function of or access to any services and infrastructure.	AO12 Access is provided in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 — SC6.4.5.5 Driveways, SC6.4.5.3 Public Transport Facilities, SC6.4.5.4 Car Parking and SC6.4.3 Standard Drawings.	COMPLIES WITH AO12 The development proposes access from Waverly Lane via the existing vehicle crossing located on Easement B on SP159422. For further details in relation to the location and form of the proposed driveway, refer to Section 5.0 of Geleon Traffic and Transport Assessment Report 50969-RP01-B
P013 All vehicles reasonably expected to access the site can safely manoeuvre to allow vehicles to exit and enter in a forward motion.	AO13 Access is provided in accordance with the standards identified in Development manual planning scheme policy no. SC6.4 - SC6.4.5.5 Driveways, SC6.4.5.3 Public Transport Facilities, SC6.4.5.4 Car Parking and SC6.4.3 Standard Drawings such that all vehicles reasonably expected to access the site, can exit and enter in a forward motion with no more than a three-point turn.	COMPLIES WITH AO13 The development provides a MRV loading bay designed in accordance with AS2890.2. In addition to providing loading bay for a MRV, the development site provides sufficient space for a front-loading Refuse Collection Vehicle (RCV) to enter the development site in a forward gear, service the bulk bins at the servicing point without obstructing vehicles circulating the development site and exit in a forward gear.. For further details in this regard, refer to the plans of development and Section 5.3 of Geleon Traffic and Transport Assessment Report 50969-RP01-B .
Pedestrian and cyclist facilities		
P014 Provision is made for the safe and convenient movement of pedestrians on-site and connecting to the external network, having regard to desire lines, legibility, safety, topographical constraints, shading and other weather protection and equitable access arrangements.	AO14 No acceptable outcome is nominated.	COMPLIES WITH P014 Footpath connectivity is provided from the Waverly Lane road frontage into Lot 01 of the development site separate to the vehicle access (refer to the plans of development).
P015	AO15	COMPLIES WITH P015

Performance outcomes	Acceptable outcomes	Comment
Provision is made for safe and convenient cycle movement to the site and within the site and connecting to the external network having regard to desire lines, users' needs, safety, topographical constraints and legibility.	No acceptable outcome is nominated.	Footpath connectivity is provided from the Waverley Lane road frontage into the development site separate to the vehicle access (refer to the plans of development).
PO16 Parking areas, pathways and other elements of transport network infrastructure are designed to enhance public safety by discouraging crime and antisocial behaviour, having regard to: (a) provision of opportunities for casual surveillance; (b) provision of lighting; (c) the use of fencing to define public and private spaces, whilst allowing for appropriate sight lines; (d) minimising potential concealment points and assault locations; (e) minimising opportunities for graffiti and other vandalism; and (f) restricting unlawful access to buildings and between buildings.	AO16 No acceptable outcome is nominated.	COMPLIES WITH PO16 The development will be designed at the detailed design stage to comply with these requirements.
Parking		
PO17 Provision is made for on-site vehicle parking to: (a) meet the demand likely to be generated by the development; and (b) avoid on street parking that would adversely impact on the safety or capacity of the road network or unduly impact on local amenity.	AO17 Parking is provided in accordance with the standards identified in Parking rates planning scheme policy no. SC6.10.	COMPLIES WITH AO17 The total car parking requirement for the development is 66 car parking spaces comprising seven residential spaces for Block A, 26 residential spaces for Block B, 26 residential spaces for Block C and seven visitor spaces. The development provides a total of 67 car parking spaces comprising five residential spaces for Block A, 21 residential spaces for Block B, 22 residential spaces for Block C, 12 outdoor residential spaces and seven freely accessible visitor spaces. For further details in this regard, refer to the plans of development, and Section 4.0 of Geleon Traffic and Transport Assessment Report 50969-RP01-B .
PO18 Parking ensures access is provided for people with disabilities.	AO18	COMPLIES WITH AO18

Performance outcomes	Acceptable outcomes	Comment
	Parking areas are designed in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 — SC6.4.5.4 Car Parking.	In accordance with NCC requirements, no PWD parking is required for a multiple dwelling development. Therefore, no PWD parking has been provided. For further details in this regard, refer to Section 4.0 of Geleon Traffic and Transport Assessment Report 50969-RP01-B .
PO19 Where the nature of the proposed development creates a demand, provision is made for set-down and pick-up facilities by bus, taxis or private vehicle, which: (a) are safe for pedestrians and vehicles; (b) are conveniently connected to the main component of the development by pedestrian pathway; and (c) provide for pedestrian priority and clear sight lines.	AO19 No acceptable outcome is nominated.	Not applicable.
PO20 Parking and servicing areas are designed to: (a) be clearly defined, marked and signed; (b) be convenient and accessible; (c) minimise large unbroken areas of hardstand to the extent practicable; (d) be safe for vehicles, pedestrians and cyclists; (e) provide shading; (f) be located to encourage multi-purpose trip ends and minimise vehicle movements within the site; and (g) minimise any adverse impacts on the amenity of surrounding land.	AO20 No acceptable outcome is nominated.	Complies with PO20 The car parking design for the proposed development has been undertaken generally in accordance with Australian Standard AS2890.1 – <i>Parking Facilities</i> . Refer to the plans of development, Section 4.4 and Section 5.3 of Geleon Traffic and Transport Assessment Report 50969-RP01-B .
PO21 Vehicle spaces have adequate dimensions to meet user requirements.	AO21 Parking areas are designed in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 — SC6.4.5.3 Public Transport Facilities and SC6.4.5.4 Car Parking.	Complies with AO21 The car parking design for the proposed development has been undertaken generally in accordance with Australian Standard AS2890.1 – <i>Parking Facilities</i> .

Performance outcomes	Acceptable outcomes	Comment
		Refer to the plans of development and Section 4.4 of Geleon Traffic and Transport Assessment Report 50969-RP01-B .
PO22 Pavement is constructed to an appropriate standard.	AO22 No acceptable outcome is nominated.	COMPLIES WITH PO22 The development will be designed at the detailed design stage to comply with this requirement.
PO23 Parking and servicing areas are kept accessible and available for use as a parking area at all times during the normal business hours of the activity.	AO23 No acceptable outcome is nominated	COMPLIES WITH PO23 The development will comply with this requirement.
PO24 Visitor parking for accommodation activities remains accessible and useable to visitors at all times.	AO24 No acceptable outcome is nominated	COMPLIES WITH PO24 The development will comply with this requirement.
PO25 Multi-level parking areas are designed, articulated and finished to make a positive contribution to the local external streetscape character, as well as the internal user experience of the facility ensuring way finding technologies and aesthetic treatments are provided.	AO25 No acceptable outcome is nominated	Not applicable.
Servicing		
PO26 Provision is made for the on-site loading, unloading, manoeuvring and access by service vehicles that: (a) are adequate to meet the demands generated by the development; (b) are able to accommodate the design service vehicle requirements; and (c) does not unduly impede vehicular, cyclist and pedestrian safety and convenience both within the site and external to the site.	AO26 Servicing areas are provided and designed in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 – SC6.4.5.3 Public Transport Facilities and SC6.4.5.4 Car Parking.	Complies with AO20 Servicing is proposed to be undertaken by an 8.8m Medium Rigid Vehicle (MRV). The development site provides a loading bay within the development site. Refer to the plans of development and Section 5.3 of Geleon Traffic and Transport Assessment Report 50969-RP01-B .

Performance outcomes	Acceptable outcomes	Comment
PO27 Refuse collection vehicles are able to safely access on-site refuse collection facilities.	AO27 Refuse collection areas are provided and designed in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 – SC6.4.22 Waste Management, SC6.4.5.3 Public Transport Facilities and SC6.4.5.4 Car Parking.	COMPLIES WITH AO27 The development site provides suitable space for a RCV to perform a turn around manoeuvre to enter and exit the development site in a forward gear. For further details in this regard, refer to Section 5.3 and Appendix C of Geleon Traffic and Transport Assessment Report 50969-RP01-B
PO28 Servicing arrangements minimise any adverse impact on the amenity of premises in the vicinity, having regard to operating hours, noise generation, proximity to sensitive uses, odour generation and dust.	AO28 No acceptable outcome is nominated	Complies with PO28 Servicing is proposed to be undertaken by an 8.8m Medium Rigid Vehicle (MRV). The development site provides a loading bay within the development site. Refer to the plans of development and Section 5.3 of Geleon Traffic and Transport Assessment Report 50969-RP01-B .



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Appendix 6



WAVERLEY LANE DEVELOPMENT DOUGLAS

WATER SUPPLY AND SEWERAGE PLANNING REPORT

Date: 26 March 2025 (Rev A)

TABLE OF CONTENTS

1	INTRODUCTION	1
2	POPULATION ASSESSMENT	2
3	WATER SUPPLY PLANNING	3
3.1	Water Demand.....	3
3.2	Water Supply Assessment.....	4
4	SEWAGE SYSTEM PLANNING	6
4.1	Sewage Infrastructure Capacity	6
4.2	Private Development Sewer Infrastructure	8

APPENDICES

Appendix A	Development Architectural Plans
Appendix B	WaterGems Figures & Modelling Results
Appendix C	Sewer Modelling Figures & Results

REPORT AUTHORISATION				
Revision	Revision Date	Details	Approved by	Signature
A	26/03/2025	Initial Report	Desmond Moseley	

1 INTRODUCTION

This report assessed the performance of the existing water & sewer infrastructure to service the proposed development of No 12-14 Waverley Lane in Douglas.

The site is located on the northern side of Waverley Lane and western side of Teak Place. The site is currently a vacant lot which fronts the Ross River on its northern boundary. The location of the development site is illustrated on the extract below from Council's GIS.



Figure 1 – Extract of Council GIS

The site is proposed to become a residential apartment development with will include the following:

- Apartment Block A – 4 residential units.
- Apartment Block B – 15 residential units.
- Apartment Block C – 15 residential units.

The extract below from the Architectural plans illustrates the above three apartment blocks for the proposed 34 residential unit development. The relevant preliminary architectural plans are provided in Appendix A.

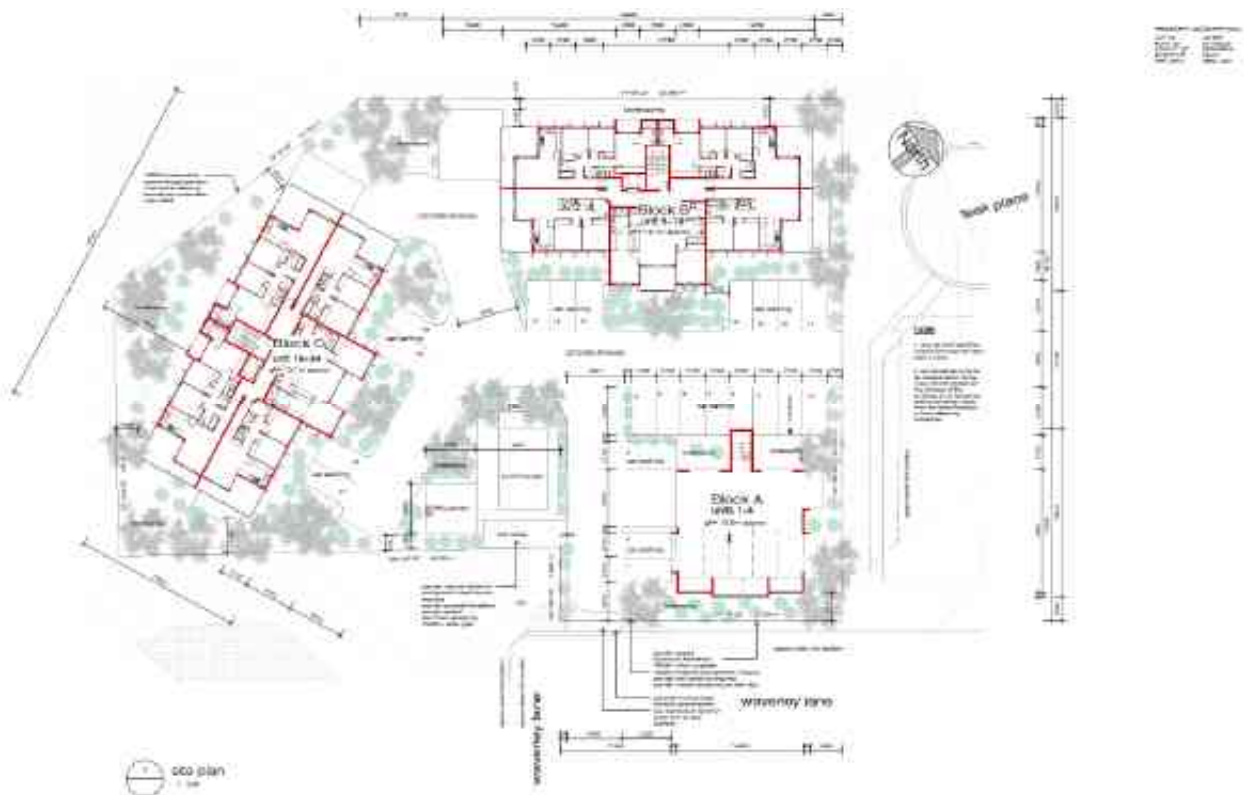


Figure 1 – Extract of Architectural Plan

An assessment of the capacity of the existing water and sewer infrastructure to service residential apartment development is detailed in the following sections of this report. The assessment has illustrated:

- The existing water network has sufficient capacity to service the water demands and fire flows for the site.
- The existing gravity sewer system, including the DN300 trunk sewer along Riverside Boulevard has sufficient capacity to service the increased sewage flows from the development.
- Due to the existing invert level of the existing gravity sewer that services the site (ie MH 3/S1A21 located near the southern boundary of the site off Waverly Lane) and the ground levels of the site, it is likely that a private sewage pump station will be required to collect the sewage flows from the residential units and pump it to MH 3/S1A21. The private pump station would be confirmed and designed as part of the internal development hydraulic.

2 POPULATION ASSESSMENT

The following section provides the population assessment for the Waverley Lane development.

The equivalent population assessment has been developed based on the unit rates detailed in “Table 8.1 – Infrastructure Demand Unit Rates” of the Local Government Infrastructure Plan – DSS, Definitions & Demands (April 2017) that is extrinsic referenced material to the Townsville CityPlan.

The following tables provides the water supply and sewerage equivalent population.

Table 2.1 – Equivalent Population Assessment for Waverly Lane Residential Apartments

	Number	Rate	EP
Apartment Block A	4 units	1.8 EP/unit	7.2 EP
Apartment Block B	15 units	1.8 EP/unit	27.0 EP
Apartment Block C	15 units	1.8 EP/unit	27.0 EP
Total	34 units	1.8 EP/unit	61.2 EP

The above equivalent populations have been used for the water & sewer infrastructure assessment.

3 WATER SUPPLY PLANNING

The Waverley Lane development site is serviced with a reticulated water system as follows:

- Water storage is provided in the Council's "Douglas No 1A/1B Reservoirs" that are located on the northern foothills of Mt Stuart. These are 2 x 41 ML reservoirs that service much of the lower elevated areas of Townsville including the suburb of Dougals.
- Water is supplied from this reservoir to the north via a DN1,425 MSCL bulk main to Angus Smith Drv. A DN450 DICL trunk main then extends to the west along Angus Smith Drv and a DN375 DICL main then crossing under this road and the Townville Ring Rd to deliver water into the Riverside Gardens/Douglas area.
- A DN300 PVC main extends from the above DN375 DICL trunk main to the north along Riverside Boulevard. The water main continues to the north and east along Riverside Boulevard with it decreasing in size to a DN250 PVC main and then a DN200 PVC main.
- The DN200 PVC main continues to the east along Riverside Boulevard (southern side of the road) with a DN100 PVC main located on the northern side of the road. A DN100 PVC main connects off the mains on Riverside Boulevard to run along Waverley Lane and along the frontage of the development site.

The above illustrates the Douglas area is well serviced with a reticulated water supply.

3.1 Water Demand

Water demands have been calculated in accordance with Townsville City Council planning scheme and its latest amendments. The following table provides the water demand parameters for the Townsville Planning Scheme which have been used in the water infrastructure assessment for Waverley Lane development.

Table - SC6.4.3.21.2 Water supply unit demand parameters

Parameter	Unit Demand	Peaking Factor
Average Day (AD)	600 L/day/EP	
Mean Day Max Month (MDMM)	900 L/day/EP	1.5 AD
Peak Day (PD)	1125 L/day/EP	1.25 MDMM
Peak Hour (PH)	0.033 L/s/EP	2.56 PD

The peak water demand for the residential development is therefore $61.2 \text{ EP} \times 0.033 \text{ l/s/EP} = \mathbf{2.02 \text{ l/s}}$.

In addition to the above, as the development is a multi-story residential apartment complex a 30 l/s fire flow has been included in the water network modelling.

3.2 Water Supply Assessment

The residential water demands for the 34 unit development were included into the Townsville WaterGems network model to assess the performance of the existing water infrastructure to service the Waverley Lane development with peak hour demands and fire flows.

The residential water demands have been applied to the end of the existing DN100 PVC water main that extends to the frontage of the development site. The following extract from the WaterGEMS model illustrates the residential equivalent population loadings.

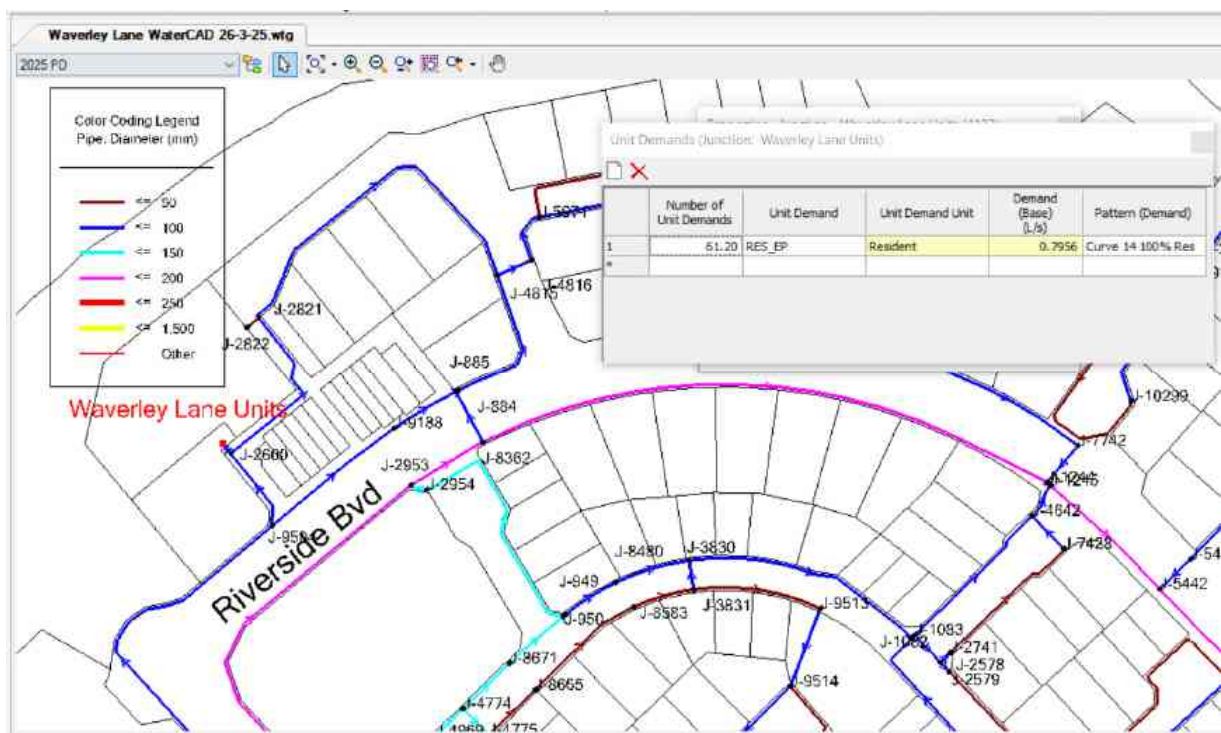


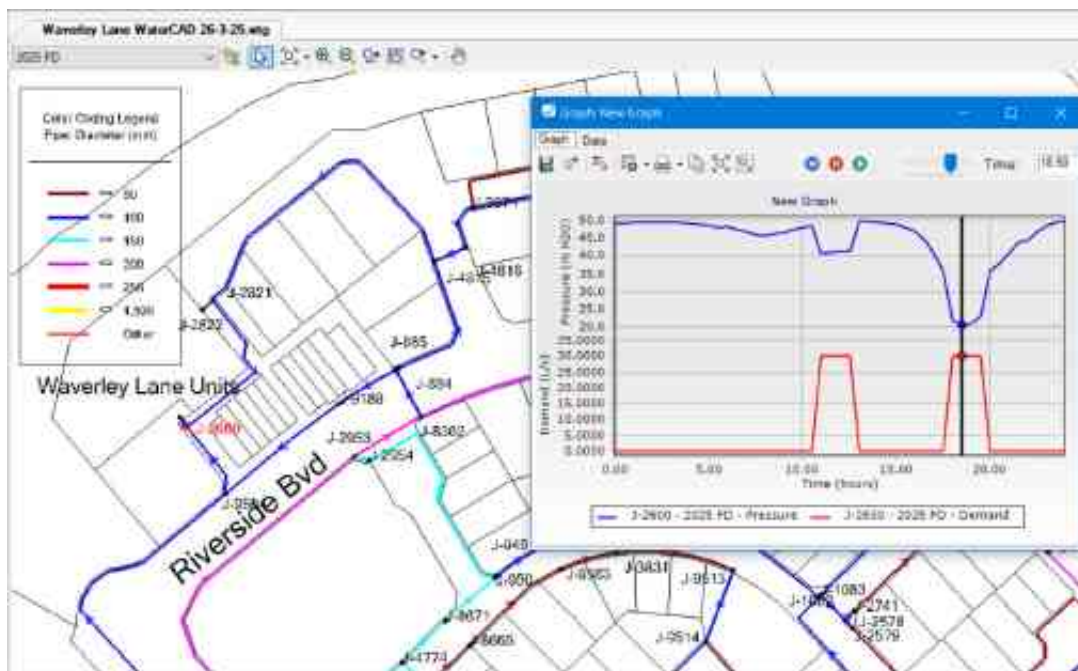
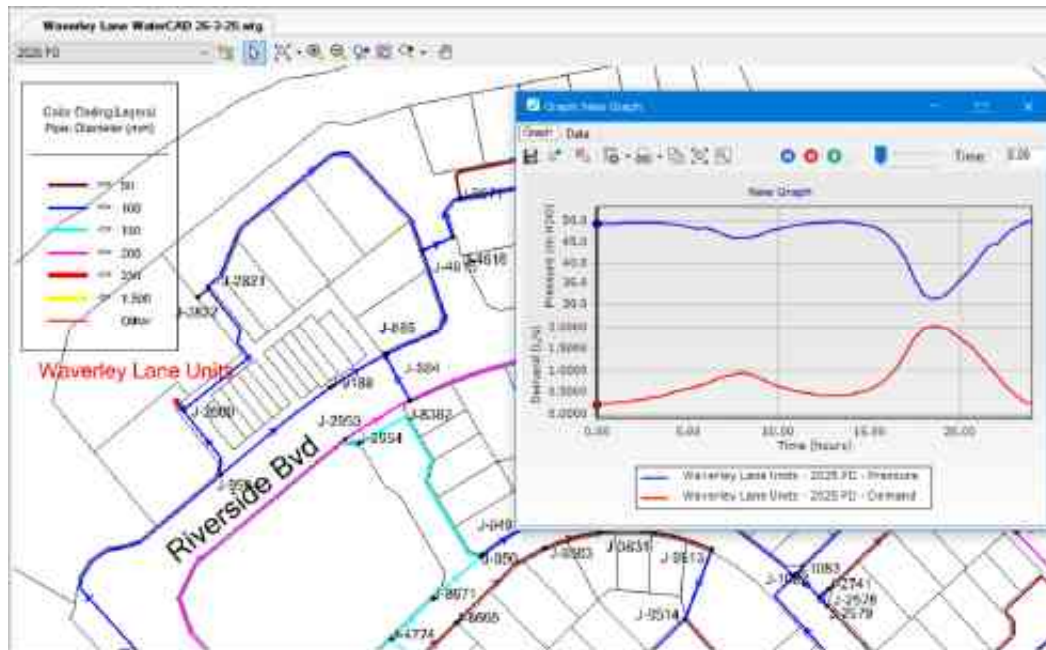
Figure 3.1 – Water Demand Loading

The water network modelling and results are summarised below. The detailed results and WaterGEMS model figures are included in Appendix B:

- Peak hour water pressures to the development site at 19:00 hours which is concurrent with the peak residential water demands is 306 kPa. This pressure is above the minimum allowable pressure of 220 kPa.
- The headloss gradient along all the water mains are below the recommended value of 0.005 m/m for the peak hour demand so meets TCC standards.
- With the inclusion of the 30 l/s fire flows the water pressure is reduced to 203 kPa which is above the minimum allowable fire flow pressure of 120 kPa.
- The velocity in the existing water mains during the fire flow assessment increased to 2.8 m/s which is within the CTM Code standard of having a maximum velocity of 5 m/s.

- It is noted the above water pressures are the residual pressures within the water main and do not specifically account for pressure losses through fire hydrants, standpipes, RPZD's and/or fire booster pump assemblies.

The plots below from the WaterGems model illustrate the water pressures at the Waverley Lane development node for both the 19:00 hours peak hour demands and the fire flow assessment.



The assessment illustrates the development is able to be serviced with peak hour and fire flows from the existing reticulation water network with no upgrades required.

4 SEWAGE SYSTEM PLANNING

The Waverley Lane development is located on the northern side of Waverley Lane and western side of Teak Place in Douglas. The site is serviced with an existing sewer system as follows:

- An existing DN150 gravity sewer extends from MH 3/S1A21 (that is located on the Waverley Lane frontage of the site) to the south to MH 2/S1A21 (that is located at the intersection of Waverley Lane and Riverside Boulevard).
- The DN150 gravity sewer runs to the east and then south under Riverside Boulevard to MH 33/S1A. This maintenance hole is on the DN300 trunk gravity sewer that runs along the southern side of Riverside Boulevard.
- The DN300 trunk sewer then generally continues to the east along Riverside Boulevard and other local streets and park reserves and onto PS S1A that is located off Riverside Boulevard and to the south of Southern Cross Cct.
- PS S1A pumps sewage to the east and onto the common pressure main to Major PS S21. Major PS S21 then pumps sewage to the Cleveland Bay STP.

The existing gravity sewer system is illustrated on the GIS Map below.



Figure 4.1 - Existing Sewer Infrastructure Figure

4.1 Sewage Infrastructure Capacity

As detailed above, the sewage from the Waverley Lane development is to be directed to the existing MH 3/S1A21 that is on a DN150 gravity sewer that is located on the Waverley Lane frontage of the site. The additional sewage loads from the development have been added to existing MH 3/S1A21 as illustrated on the SewerGEMS extract below.

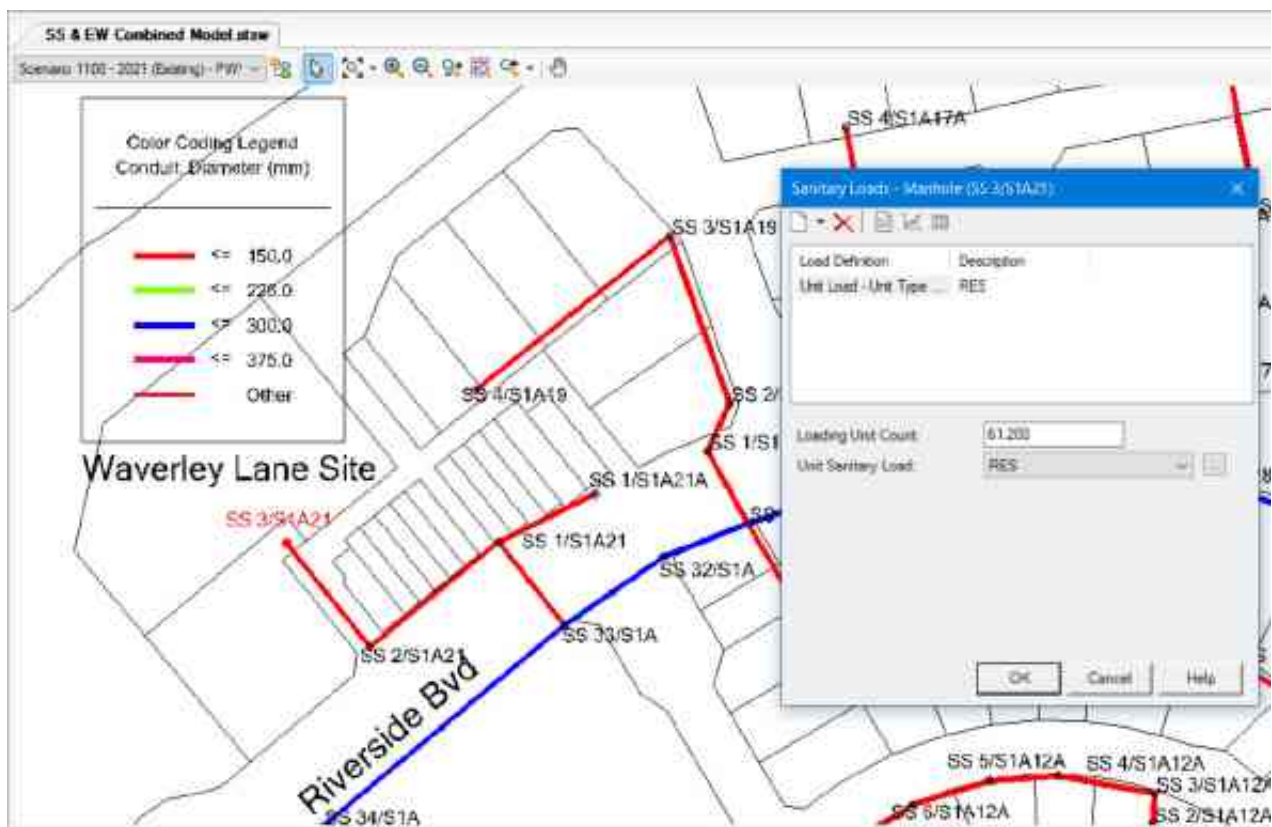


Figure 4.2 – Waverley Lane – SewerGEMS EP Loading

The existing gravity sewer system and DN300 trunk sewer have sufficient capacity to service the proposed Waverley Lane development with the SewerGEMS network modelling results and gravity sewer system capacity summarised below and detailed in Appendix C:

- The existing DN150 sewer from MH 3/S1A21 that the Waverley Lane development will direct its sewage into, flows up to 19% full which is under the 75% full requirement of the CTM Code.
- The remainder of the DN150 sewer from MH 3/S1A21 to MH 33/S1A flows up to 24% full.
- DN300 trunk sewer along Riverside Boulevard flows up to 64% full.
- All the sewers flow less than 75% full and meet the requirements of the CTM Code.

The assessment has illustrated that the Waverley Lane development can be serviced from the existing gravity sewer system with no upgrades being required.

The Figure 4.3 below provides the SewerGEMS modelling results. A larger version of the modelling results is provided in Appendix C.

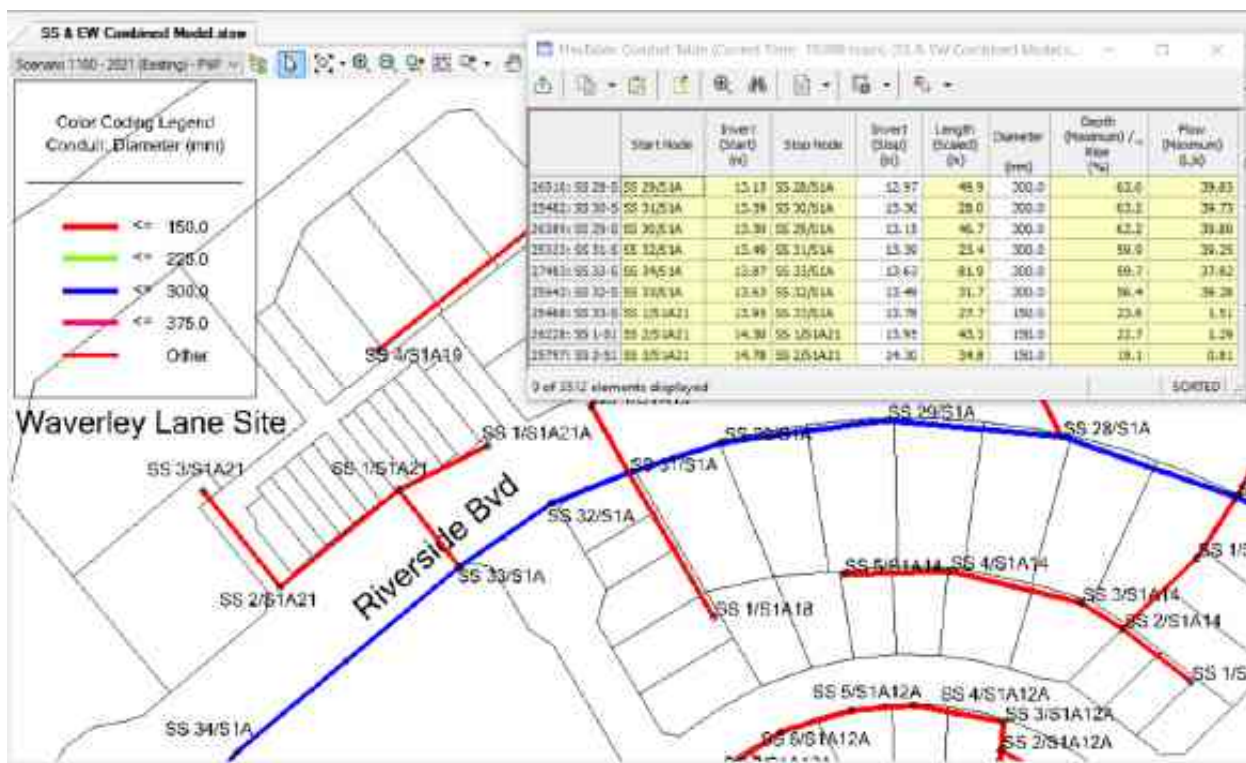


Figure 4.3 – Waverley Lane – SewerGEMS Modelling Results

4.2 Private Development Sewer Infrastructure

The topography of the development site at No 12 to 14 Waverley Lane drops from the road level of around 17mAHD to a level of around 12mAHD on the northern (Ross River) frontage of the site. The invert of the existing sewer maintenance hole that is to service the site (ie MH 3/S1A21) is 14.78mAHD. The gravity sewer invert level is higher than some of the development site so it may not be deep enough to fully service the proposed development.

Depending on the final location and levels of the proposed residential apartment blocks and their private gravity sewers (house drains), the site may need its own small private package sewage pump station. The private package sewage pump station will collect sewage from the proposed apartment blocks (if/as required) and would then pump sewage into existing MH 3/S1A21.

The sizing and design of the private package pump station (if required) and associated internal development sewer works will be undertaken as part of the detailed development design and associated hydraulic approvals.

APPENDIX A DEVELOPMENT LOCATION & LAYOUT PLANS



1 street view



5 community area view



2 aerial view 1



3 internal view to block a & b



4 internal view to block c

Sheet List		
Count	Sheet Number	Sheet Name
1	sk. 01	perspectives
1	sk. 02	elevations overall
1	sk. 03	elevations overall
1	sk. 04	site plan
1	sk. 05	services - aerial plans
1	sk. 06	area layouts
1	sk. 07	Block A - floor plans
1	sk. 08	Block A - elevations
1	sk. 09	Block B - ground floor plan
1	sk. 10	Block B - first floor plan
1	sk. 11	Block B - second floor plan
1	sk. 12	Block B - third floor plan
1	sk. 13	Block B - elevations
1	sk. 14	Block B - elevations
1	sk. 15	Block C - ground floor plan
1	sk. 16	Block C - first floor plan
1	sk. 17	Block C - second floor plan
1	sk. 18	Block C - third floor plan
1	sk. 19	Block C - elevations
1	sk. 20	Block C - elevations

20

Preliminary
not to be used for construction purposes

NOTES:
THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT.
COMPLY WITH ALL RELEVANT AUTHORITY REG. & BSA. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. VERIFY ALL ON SITE DIMENSIONS & LEVELS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

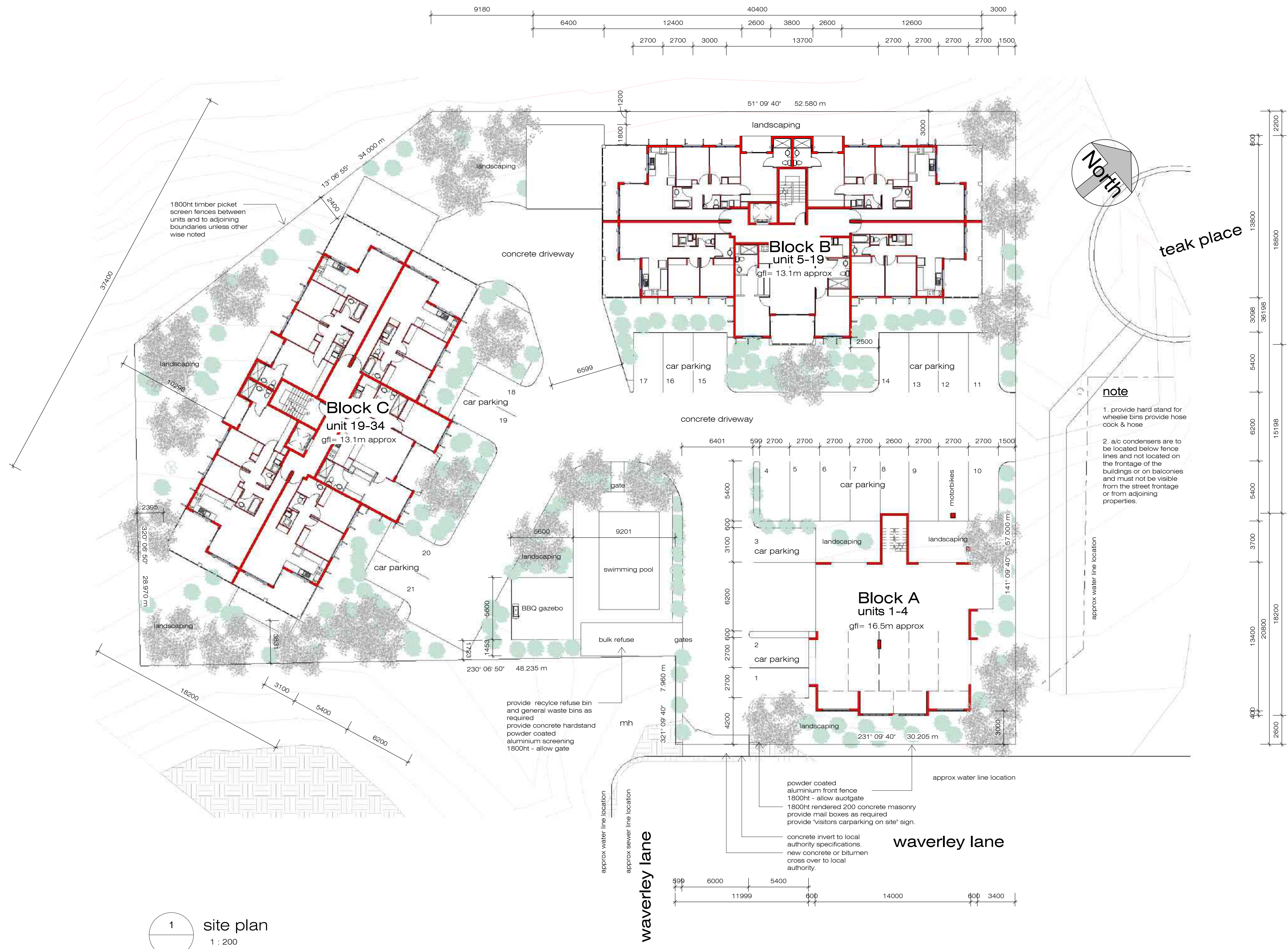
Revision Schedule		
No	Description	Date



project:
Proposed Multiple Dwellings
for:
Opulence Builders Group
at:
2-14 Waverley Lane
Douglas

Issue Date 11/2007
Drawn concepts
scale
sheet sk. 01
23-013
printed 15/04/2023 1:52:39 PM

PROPERTY DESCRIPTION
LOT No: Lot 999
PLAN No: sp 159422
COUNTY OF Elphinstone
PARISH OF Stuart
SITE AREA 3869 sqm



1 site plan
1 : 200

Preliminary
not to be used for construction purposes

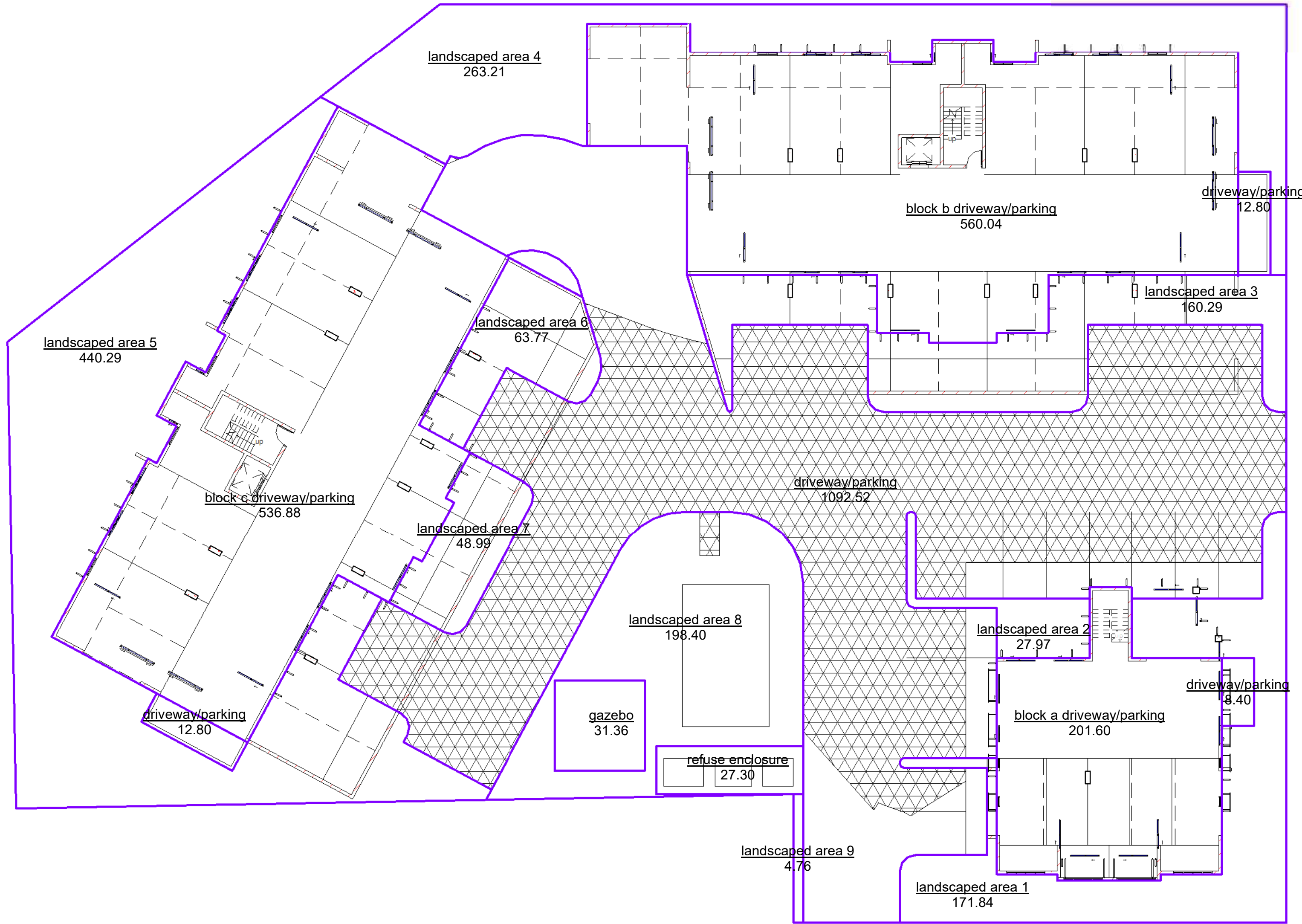
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No	Revision Schedule	Date
	Description	



project:
Proposed Multiple Dwellings
for:
Opulence Builders Group
at:
2-14 Waverley Lane
Douglas

Issue Date	11/2007
Drawn	Author
scale	As indicated
sheet	sk 04
23-013	
printed 15/04/2023 1:55:12 PM	



Area Schedule (site coverage)			
Count	Name	Area	%

building			
1	block b driveway/parking	560.04	14%
1	block c driveway/parking	536.88	14%
1	block a driveway/parking	201.60	5%
3		1298.52	34%

driveway			
1	driveway/parking	1092.35	28%
1	driveway/parking	12.80	0%
1	refuse enclosure	27.30	1%
1	driveway/parking	8.40	0%
1	driveway/parking	12.80	0%
5		1153.65	30%

landscape			
1	landscaped area 3	160.29	4%
1	landscaped area 6	63.77	2%
1	landscaped area 7	48.99	1%
1	landscaped area 5	440.29	11%
1	gazebo	31.36	1%
1	landscaped area 8	198.40	5%
1	landscaped area 1	171.84	4%
1	landscaped area 2	27.97	1%
1	landscaped area 4	263.37	7%
1	landscaped area 9	4.76	0%
10		1411.06	37%
18		3863.22	100%

Preliminary
not to be used for construction purposes

NOTES:
THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT.
COMPLY WITH ALL RELEVANT AUTHORITY REG. & BSA. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. VERIFY ALL ON SITE DIMENSIONS & LEVELS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

No	Revision Schedule	Date
	Description	

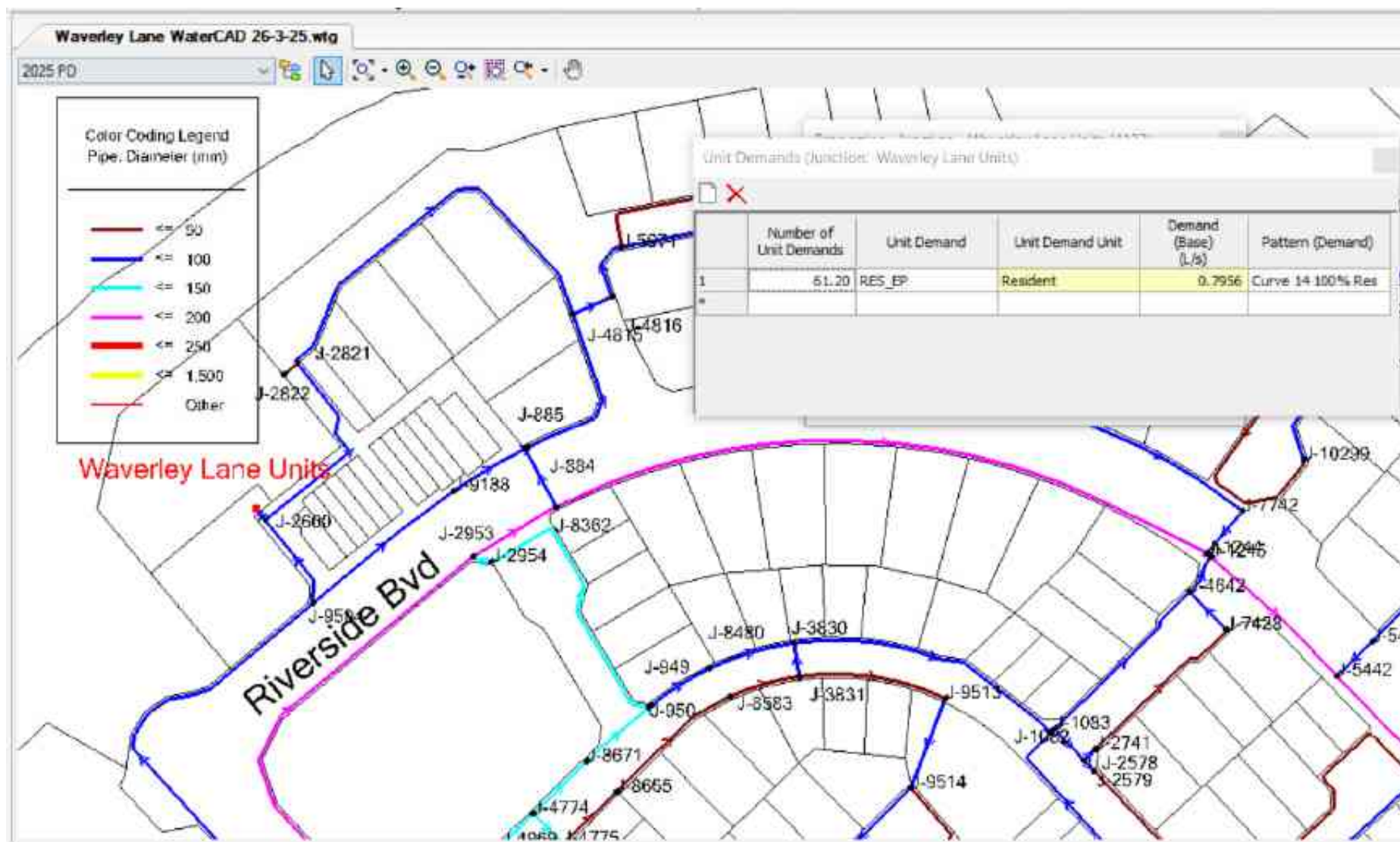


project:
Proposed Multiple Dwellings
for:
Opulence Builders Group
at:
2-14 Waverley Lane
Douglas

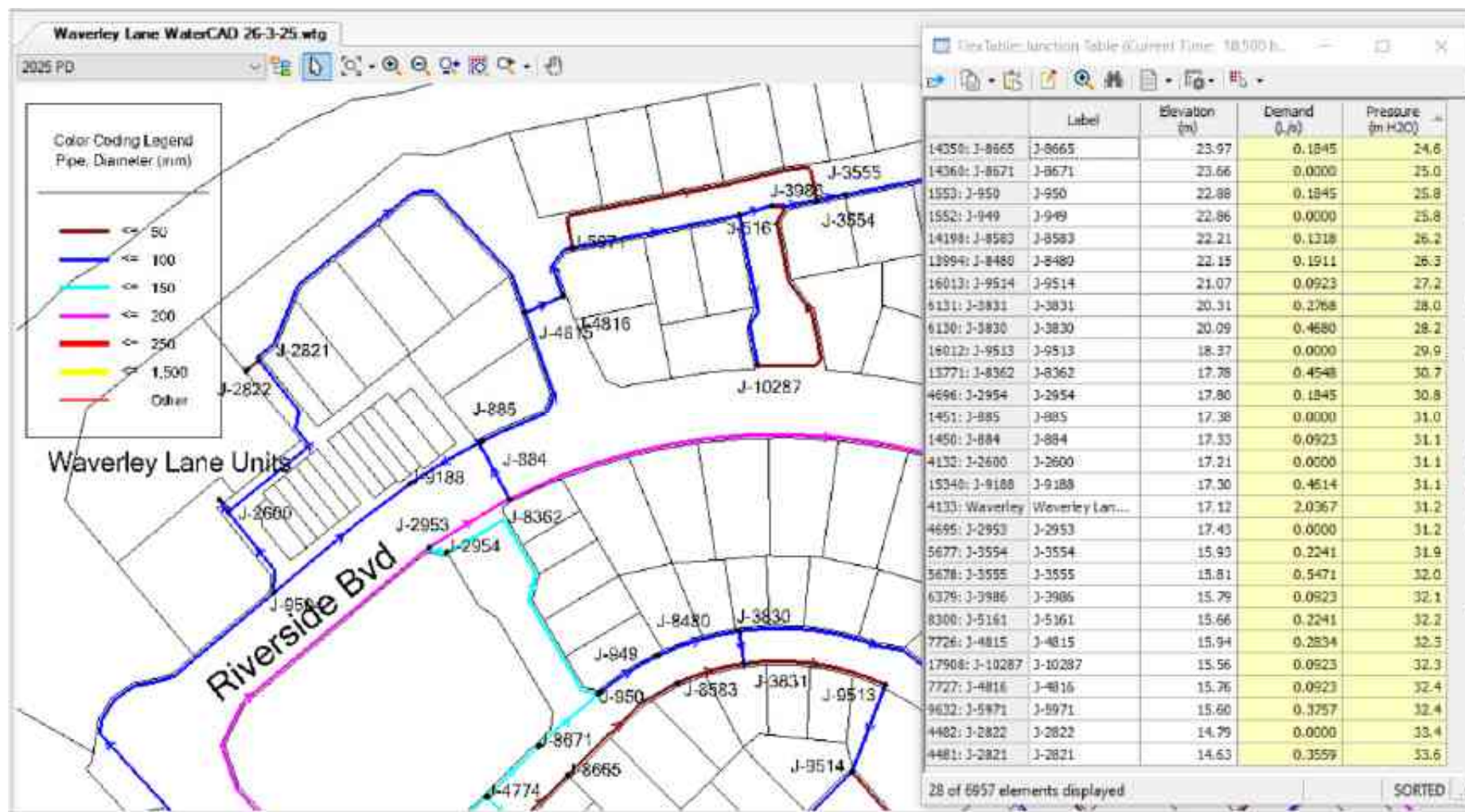
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Drawn	Author
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APPENDIX B

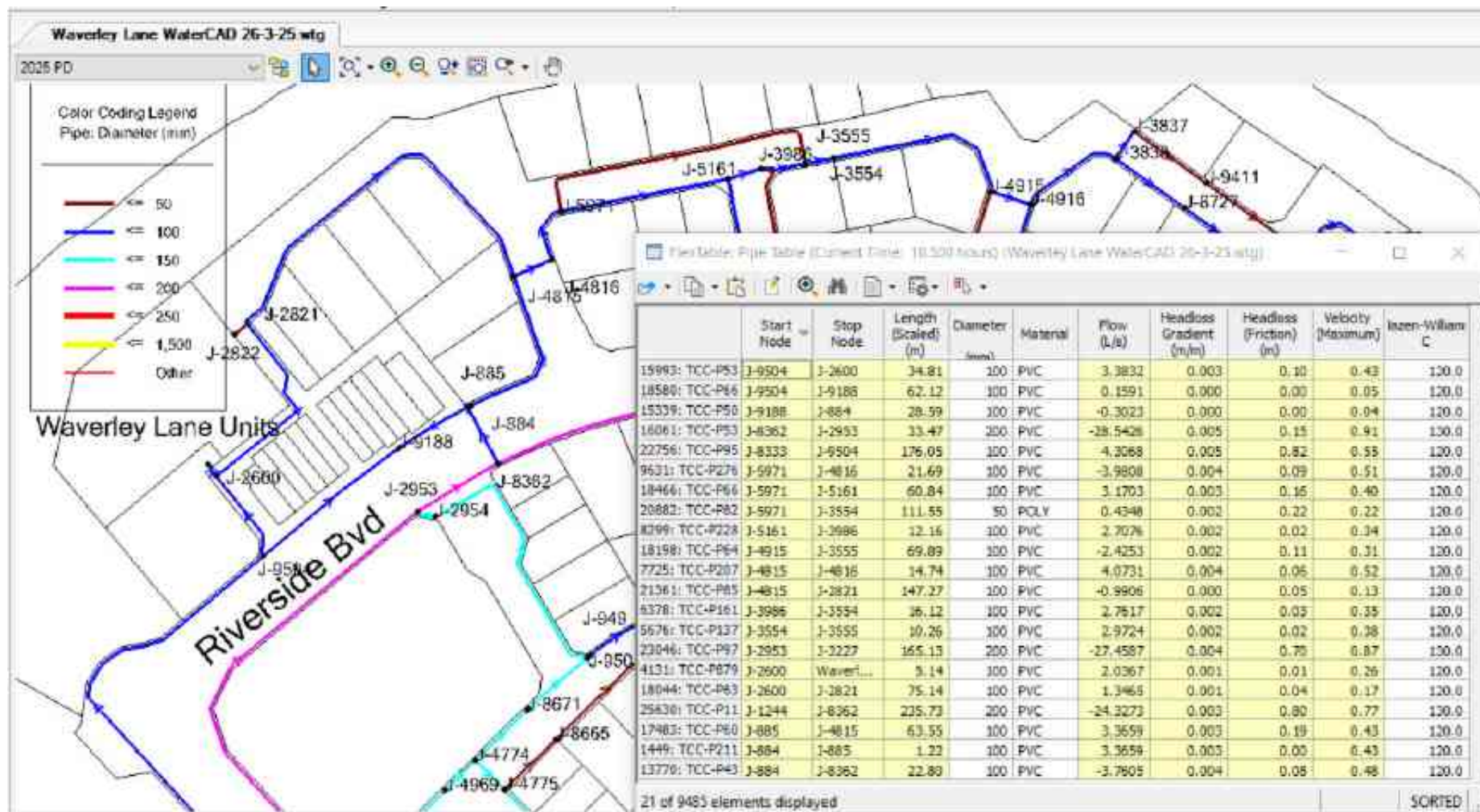
WATER MODELLING FIGURES & RESULTS



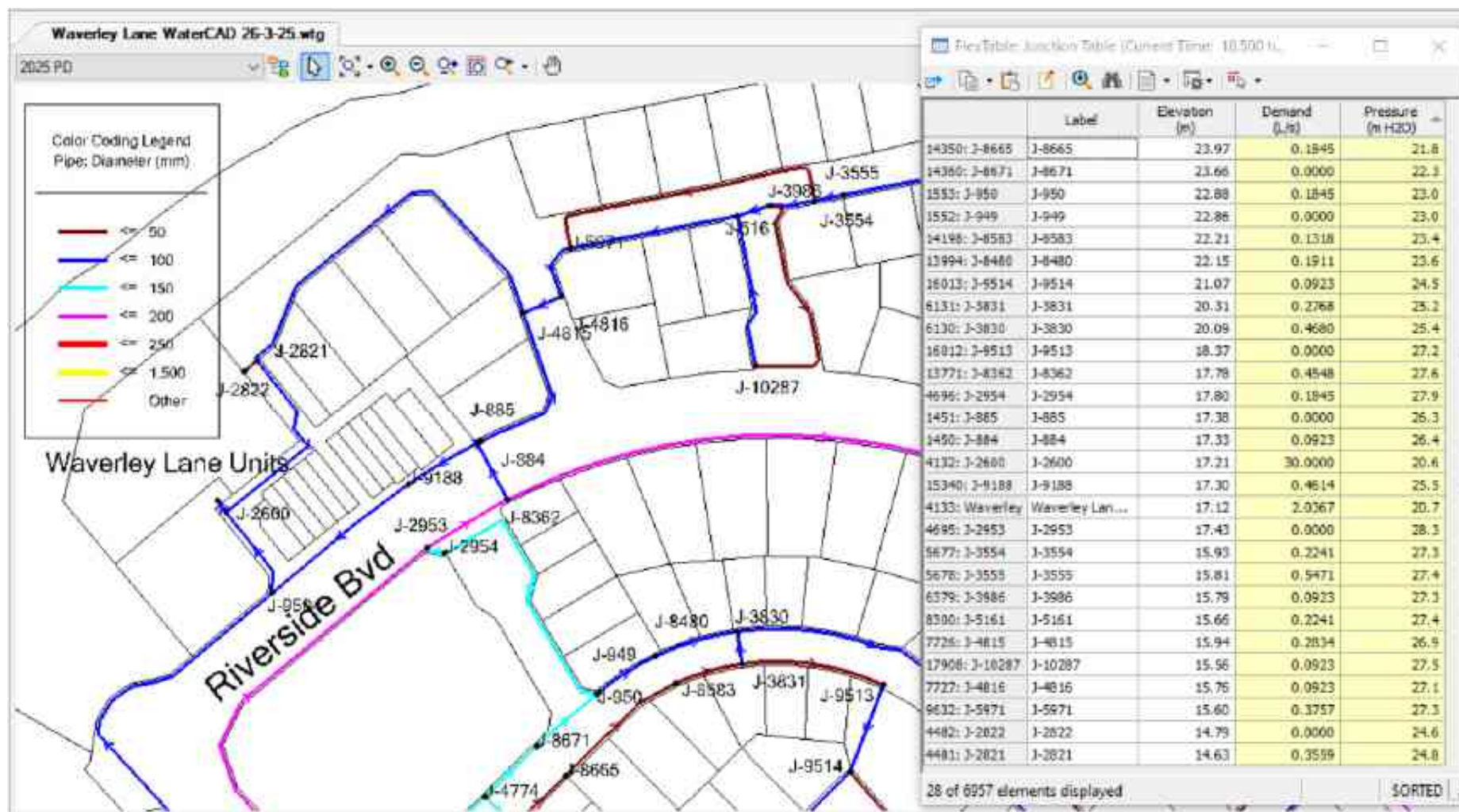
Waverley Lane - WaterGEMS Figure & Demands



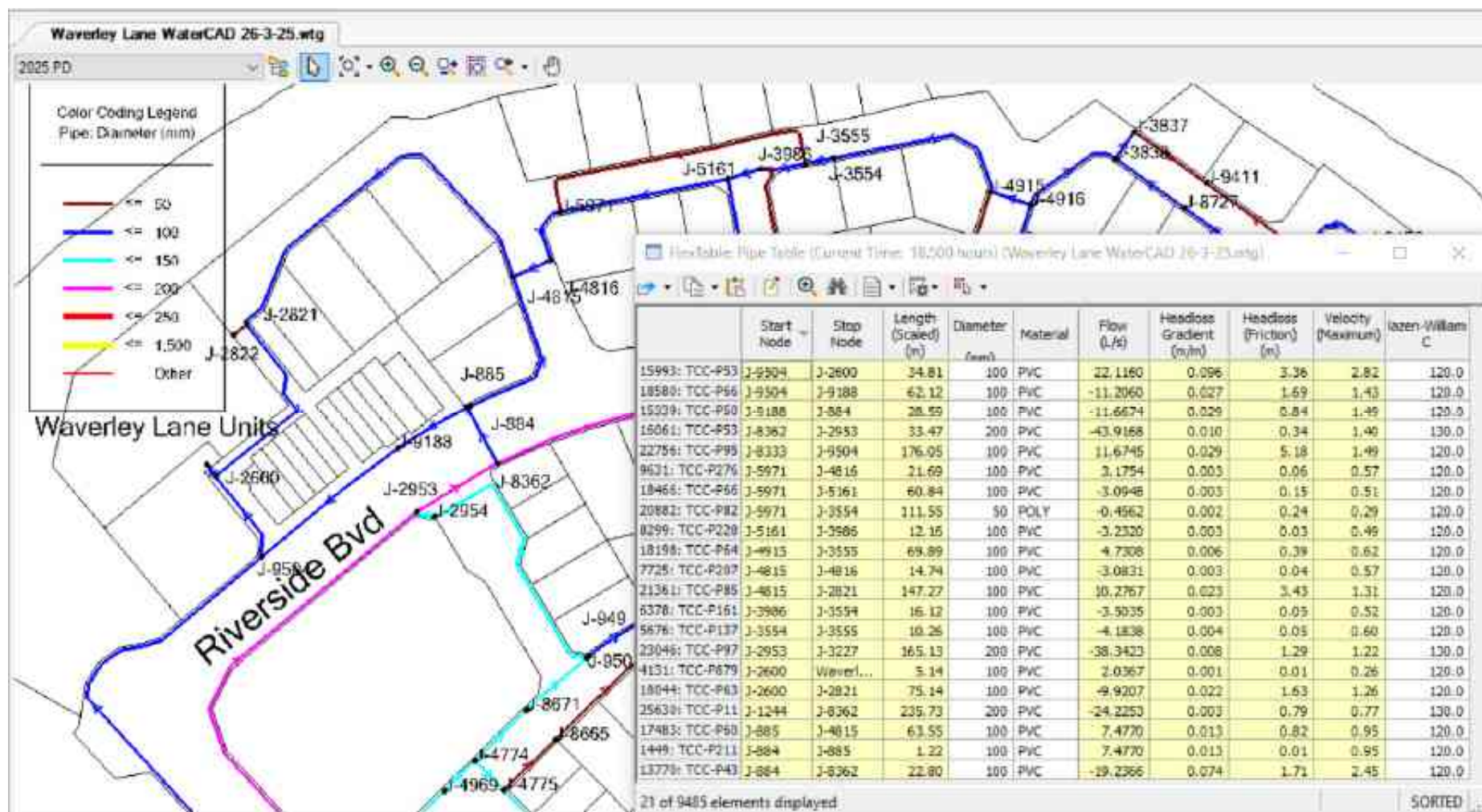
Waverley Lane – Peak Hour Pressures – 18:50hr



Waverley Lane – Peak Hour Pipes – 18:50hr



Waverley Lane – Fire Flow Pressures – 18:50hr



Waverley Lane – Fire Flow Pipes – 18:50hr

APPENDIX C

SEWER MODELLING FIGURES & RESULTS



Appendix 7



PROPOSED MULTIPLE DWELLINGS

12-14 WAVERLEY LANE, DOUGLAS

SITE BASED STORMWATER MANAGEMENT PLAN



OPULENCE BUILDERS GROUP

STP25-0424

DOCUMENT STATUS

Rev.	Issue	Author	Approved for Issue		
			Approved by	Signature	Date
A	Preliminary Issue	Matt Whittering	Matt Whittering RPEQ 30796		2 April 2025
B	Layout Amended	Matt Whittering	Matt Whittering RPEQ 30796		11 June 2025

TABLE OF CONTENTS

1.	Introduction	1
1.1	Limitations	1
2.	Site Characteristics	1
2.1	Easements and Resumptions	2
2.2	Site Topography	3
2.3	Flood Study	4
3.	Proposed Development	4
3.1	Site Plan	4
3.2	Site Earthworks & Finished Floor Levels	4
3.3	Site Stormwater Drainage	5
4.	Site Based Stormwater Management Plan	5
4.1	Existing Stormwater Infrastructure	5
5.	MUSIC Modelling	10
5.1	Model Parameters	10
5.2	Rainfall and Runoff Parameters	10
5.3	Pollutant Generation	11
5.4	Results	12
6.	Discussion / Conclusion	13
	Appendix A: Schematic Drainage Plan	14
	Appendix B: Atlan Filter	16

1. Introduction

Opulence Builders Group has engaged STP Consultants to develop a Site Based Stormwater Management Plan for a new multiple dwelling residential development in Douglas, Townsville. This plan is intended to provide essential information to support the proposed development and to comprehensively address the stormwater infrastructure needs necessary to effectively manage all-site runoff resulting from the proposed development.

This SBSMP report focuses on the impact of the development in the following areas:

- Earthworks
- Flood Hazard
- Stormwater Management
- Stormwater Quality

1.1 Limitations

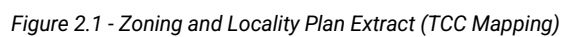
This report provides a desktop stormwater and hydrology investigation from the information obtained from the following sources.

- Architectural Layout provided by Concepts Building Design.
- LiDAR data obtained from Department of Natural Resources and Mines (via ELVIS – Elevation Foundation Spatial Data).
- Townsville Council Infrastructure Mapping Information.
- Townsville City Council Development Flood Report Investigation.
- Townsville City Council Planning Scheme.
- Rainfall and Meteorological Data by the Australia Bureau of Meteorology.
- Before You Dig Australia.
- Queensland Globe.

2. Site Characteristics

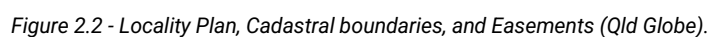
The site is situated at 12-14 Waverley Lane, Douglas Queensland 4814, and encompasses a single lot specifically identified as Lot 999 on SP159422, with a land area of 3,869m² (hereafter described as “the site”). The site falls within the Open Space Zone under the authority of the Townsville City Council (TCC) local government area.

The site is positioned on the southern banks of the Ross River, and the north-western side of Waverley Lane. At present, the site is currently vacant. The site's immediate surroundings include medium density residential housing to the north-east, high density residential units to the south-east, and a small commercial neighbourhood centre to the south known as the Riverview Marketplace. The banks of Ross River fronts the site's northern boundary.



The site has no easements or road resumptions through the site.

The site has no easements or road resumptions through the site.



2.2 Site Topography

Existing surface levels across the site vary, with elevations ranging from RL17.1m AHD (Australian Height Datum) at the south-east corner to RL12.0m AHD at the north-west corner of the site.

Presently, the site exhibits a slope with a gradient of approximately 8% (1:12), that descends from the Waverley Lane frontage towards the Ross River.



Figure 2.3 - Site Survey Plan (ELVIS Lidar).

2.3 Flood Study

According to Townsville City Council flood mapping, the site contains localised areas of inundation from the future 1% AEP Defined Flood Event (DFE). The depths and locations of these areas implies they are localised depressions within the flood model, often referred to as 'model noise', and not representative of a flood level for the purposes of developing the site. The DFE for the Ross River adjacent to the site is at RL12.07m AHD, which does not encroach into the site.

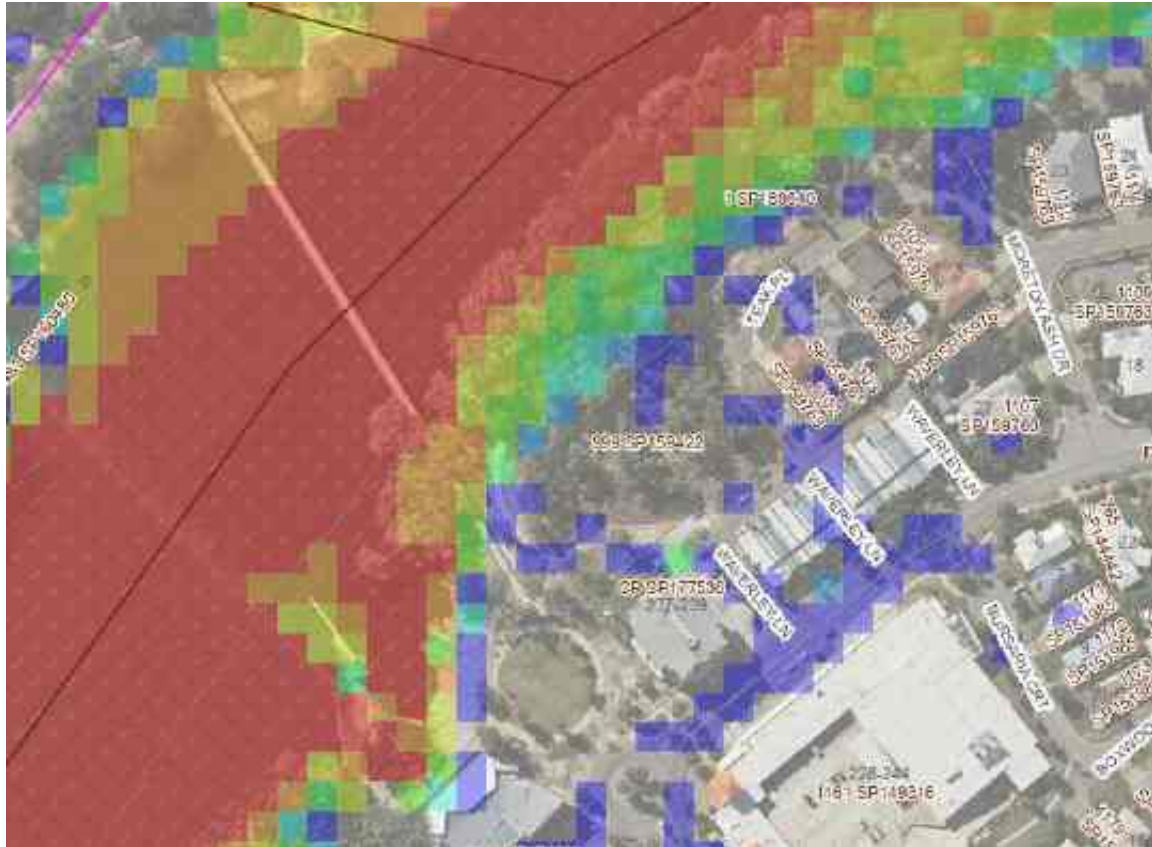


Figure 2.4 – 1%AEP Flood Map Extract (TCC Flood Mapping)

3. Proposed Development

3.1 Site Plan

The proposed development consists of clearing the site and construction of a new multi-storey residential development, refer Appendix A.

3.2 Site Earthworks & Finished Floor Levels

The existing site grades from Waverley Lane to Ross River, with an average grade of 8%. Site profiling will largely follow the existing fall direction with maximum allowable grades to minimise fill and achieve the compliant pavement grades. Retaining walls up to 3m are anticipated as part of this development. As the ground levels of all buildings will be carparks and the site is not affected by a defined flood event, there is no requirement for the levels to be above a defined flood level. Levels will be based to achieve compliant off-street parking grades in accordance with AS2890.1, and to minimise earthworks within the site.

3.3 Site Stormwater Drainage

The proposed development will result in filling and reshaping of the site. An internal drainage system will be employed to capture runoff from all hardstand and roofed surfaces to a Stormwater Quality Treatment Device (SQID), prior to discharging to the Lawful Point of Discharge for the site, being the Ross River.

4. Site Based Stormwater Management Plan

4.1 Existing Stormwater Infrastructure

The site discharges overland from Waverley Street down towards the Ross River. There are currently no connections to council drainage infrastructure from the site. The closest drainage infrastructure exists along the western boundary of the site. It is not anticipated that this development will connect to this infrastructure.

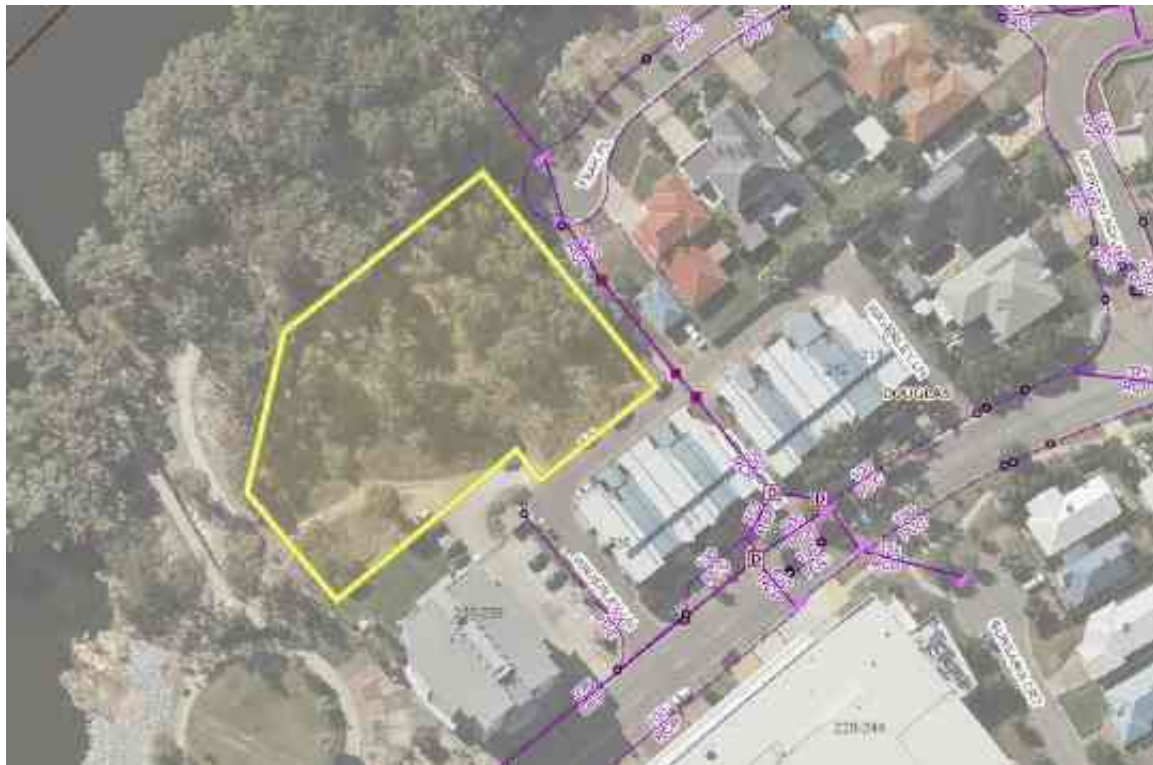


Figure 4.1 - Infrastructure Asset Extract (TCC Mapping)

4.2 External Catchments

The contours from Townsville City Council Mapping show there is an existing external catchment from the adjacent site on the southern side. The external catchment size is approximately 500m², which is indicated in Figure 4.2 below. Any internal stormwater infrastructure will be designed to take this external catchment into account.



Figure 4.2 - Contour Overlay Extract (TCC Mapping)

4.3 Stormwater Runoff & Detention

Townsville City Council Planning Scheme Policy – SC6.4.9 Stormwater Quantity, identifies the provisions for the minor and major systems design criteria for different zonings. The Major drainage system is to be designed for the 1% AEP while the Minor system in to be in accordance with Table SC6.4.9.1 below.

Table SC6.4.9.1 - Minor System Design AEP and Average Recurrence Interval (AR¹)

Development Category	AR ¹ (yrs)	AEP
Residential	2	33%
Commercial - Lower order (district centre and below)	2	33%
Commercial - Other (excluding Lower order commercial and Principal centre)	5	16%
Industrial	5	16%
Principal Centre (CBD)	10	10%
Rural Residential	20	5%
Parks and recreation areas (excluding community facilities)	1	1EV

The proposed unit development changes the zoning of the site from Open Space to High Density Residential under the planning scheme. This represents an increase in permissible fraction impervious area from 0.2 to 0.9 in accordance with Table SC6.4.9.2 below.

Table SC6.4.9.2 - Design AEPs and Fraction Impervious for Land Use Zones

Development Category	Land use	Fraction Impervious (fi)
Residential zones category	Low density residential	0.65
	Medium density residential	0.7
	High density residential	0.9
	Rural residential	0.6
	Character residential	0.65
	Neighbourhood centre	0.8
Centre zones category	Local centre	0.9
	District centre	0.9
	Major centre	1.0
	Principal centre (CBD)	1.0
	Specialised centre	0.9
	Mixed use	0.9
	Community facilities and Open space zone category	0.2
Community facilities and Open space zone category	Sport & recreation	0.2
	Open space	0.2
	Community facilities	0.95
	Environmental management & conservation	0.4
Industry zones category	Low impact industry	0.5
	Medium impact industry	0.9
	High impact industry	0.8
Rural zones category	Rural	0.1
Other zones category	Emerging community	
	Special purpose	

Under ordinary conditions, this would trigger the requirement for on-site detention to remediate the increase in impervious area, however, as the development is located immediately upstream of the Ross River with no downstream infrastructure to attenuate flows for, there is no requirement to detain site runoff.

4.4 Stormwater Quality

In accordance with the requirements of the State Planning Policy – July 2017, the Assessment Benchmarks for Water Quality, the proposed development site is greater than 2,500m² in size and therefore the site does exceed the criteria for requiring permanent methods of stormwater quality control.

Assessment benchmarks – water quality These performance outcomes apply to the following development applications, to the extent the SPP has not been identified in a local planning instrument as being appropriately integrated.		
For receiving waters, a development application for: (1) a material change of use for an urban purpose that involves premises 2500 metres ² or greater in size and: (a) will result in six or more dwellings; or (b) will result in an impervious area greater than 25 per cent of the net developable area; or (2) reconfiguring a lot for an urban purpose that involves premises 2500 metres ² or greater in size and will result in six or more lots; or (3) operational works for an urban purpose that involves disturbing a land area 2500 metres ² or greater in size.	For water supply buffer areas, a development application: (a) located wholly outside an urban area and relating to premises that is within, or partly within, a water supply buffer area, that involves: (a) a material change of use for the intensive animal industry, medium and high-impact industry, noxious and hazardous industry, extractive industry, utility installation that involves sewerage services, drainage or stormwater services, waste management facilities, or motor sport facility; or (b) reconfiguring a lot to create five or more additional lots if any resultant lot is less than 10 hectares in size, and any of the lots created will rely on on-site wastewater treatment.	The following requirements are assessment benchmarks for the development: (1) Development is located, designed, constructed and operated to avoid or minimise adverse impacts on environmental values arising from: (a) altered stormwater quality and hydrology (b) waste water (c) the creation or expansion of non-tidal artificial waterways (d) the release and mobilisation of nutrients and sediments. (2) Development achieves the applicable stormwater management design objectives outlined in tables A and B (appendix 2) (3) Development in a water supply buffer area avoids adverse impacts on drinking water supply environmental values. Further information in relation to these requirements is detailed in the water quality guidance material.

4.4.1 Pollutants of Concern

Pollutant	Development Phase	
	Construction	Operation
Litter	✓	✓
Sediment	✓	unlikely
Hydrocarbons (including oil and grease)	✓	✓
Toxic materials (e.g. cement slurry, asphalt primer, solvents)	✓	unlikely
pH altering substances (e.g. cement slurry and wash waters)	✓	unlikely
Oxygen demanding substances (organic and chemical matter)	possibly	unlikely
Nutrients (nitrogen and phosphorus)	✓	✓
Pathogens / Faecal coliforms (bacteria and viruses)	possibly	unlikely
Heavy metals (often associated with fine sediment)	unlikely	unlikely
Surfactants (e.g. detergents from car washing)	unlikely	possibly
Thermal pollution (heat)	unlikely	unlikely

Table 4.1 – Pollutants Likely to be of Most Concern

4.4.2 Design Objectives for Water Management

The Environmental Protection (Water) Policy 1997 provides a framework for identifying environmental values and associated water quality objectives; this framework is consistent with the efficient use of resources and best practice environmental management and involves the community through consultation and consideration of economic and social impact assessment. Environmental Values (EV) are a reflection of the qualities of a catchment that the community believes to be important. As such, environmental values are established through community consultation rather than through a scientific process. Once EV are established for a catchment, Water Quality Objectives (WQO) can be defined, which are meant to protect these values.

The water Quality Objectives for the proposed development are to be in accordance with State Planning Policy – Water Quality, as listed in the Townsville City Council's Planning Scheme Policy, SC6.4.10 Stormwater Quality.

Parameter	Statistic	Load Based Reduction	Water Quality Objectives
Total Suspended Solids (TSS)	Mean Range	80%	Less than 5mg/L
Total Phosphorous (TP)	Mean Range	65%	Less than 0.01 to 0.05mg/L
Total Nitrogen (TN)	Mean Range	40%	Less than 0.2 to 0.5mg/L
Gross Pollutants	-	90%	Retention of litter greater than 50mm for flows up to the 3-month ARI peak flow

Table 4.2 – Water Quality Objectives for Townsville

4.4.3 Proposed Treatment Train Analysis

The proposed development on the existing site has sufficient area available to dedicate to stormwater treatment devices to the new works.

Roof water will discharge via downpipes either directly to the pavement surface or directly into adjacent field inlet pits connected to the in-ground stormwater network.

The landscaped areas, concrete driveways and pavements will drain to the internal in-ground stormwater.

All grated field inlets will be fitted with filter baskets for removal of gross pollutants.

The total catchment then discharges to the existing Lawful Point of Discharge via an Atlanfilter unit (or equivalent). The Atlanfilter has been used for modelling purposes but may be substituted by another proprietary product with similar performance characteristics.

5. MUSIC Modelling

5.1 Model Parameters

Input	Data Used
Rainfall Station	32040 TOWNSVILLE
Rainfall Period	03/03/1953 – 31/03/2010
Mean Annual Rainfall (mm)	1031mm
Evapotranspiration	1857mm
Model Timestep	6 minutes
Rainfall Runoff Parameters*	Residential
Pollutant Parameters*	Residential (Split)

Table 5.1 - Basic MUSIC Model Parameters

5.2 Rainfall and Runoff Parameters

Parameter	Roof/ Road/Ground Level
Rainfall Threshold (mm/day)	1
Soil Storage Capacity (mm)	500
Soil Initial Storage (% of Capacity)	10
Field Capacity (mm)	200
Infiltration Capacity coefficient - a	211
Infiltration Capacity exponent - b	5.0
Initial Depth (mm)	50
Daily Recharge Rate (%)	28
Daily Baseflow Rate (%)	27
Daily Deep Seepage Rate (%)	0

Table 5.2 - Water By Design MUSIC Quantity Parameters for SEQ (Urban Residential) Appendix A

5.3 Pollutant Generation

In MUSIC, stormwater quality is characterized by event mean concentrations (EMC) for storm flows and base flows. In this study, the EMC were adopted from the Water by Design MUSIC Modelling Guidelines. The pollutants of concern that were assessed include total suspended solids (TSS), total phosphorous (TP) and total nitrogen (TN). The quality of stormwater runoff is characterised by inputting event mean concentrations (EMC) for storm flow and base flow conditions as well as the standard deviation of each EMC.

Pollutant concentrations are based on Urban Residential land use parameters.

Flow Type	Surface Type	TSS (log10 values)		TP (log10 values)		TN (log10 values)	
		Mean	Std Dev.	Mean	Std Dev.	Mean	Std Dev.
Baseflow	Roof	0.00	0.00	0.00	0.00	0.00	0.00
	Roads	1.00	0.34	-0.97	0.31	0.20	0.20
	Ground level	1.00	0.39	-0.89	0.31	0.20	0.20
Stormflow	Roof	1.30	0.44	-0.89	0.31	0.26	0.23
	Roads	2.43	0.39	-0.30	0.31	0.26	0.23
	Ground level	2.18	0.39	-0.47	0.31	0.26	0.23

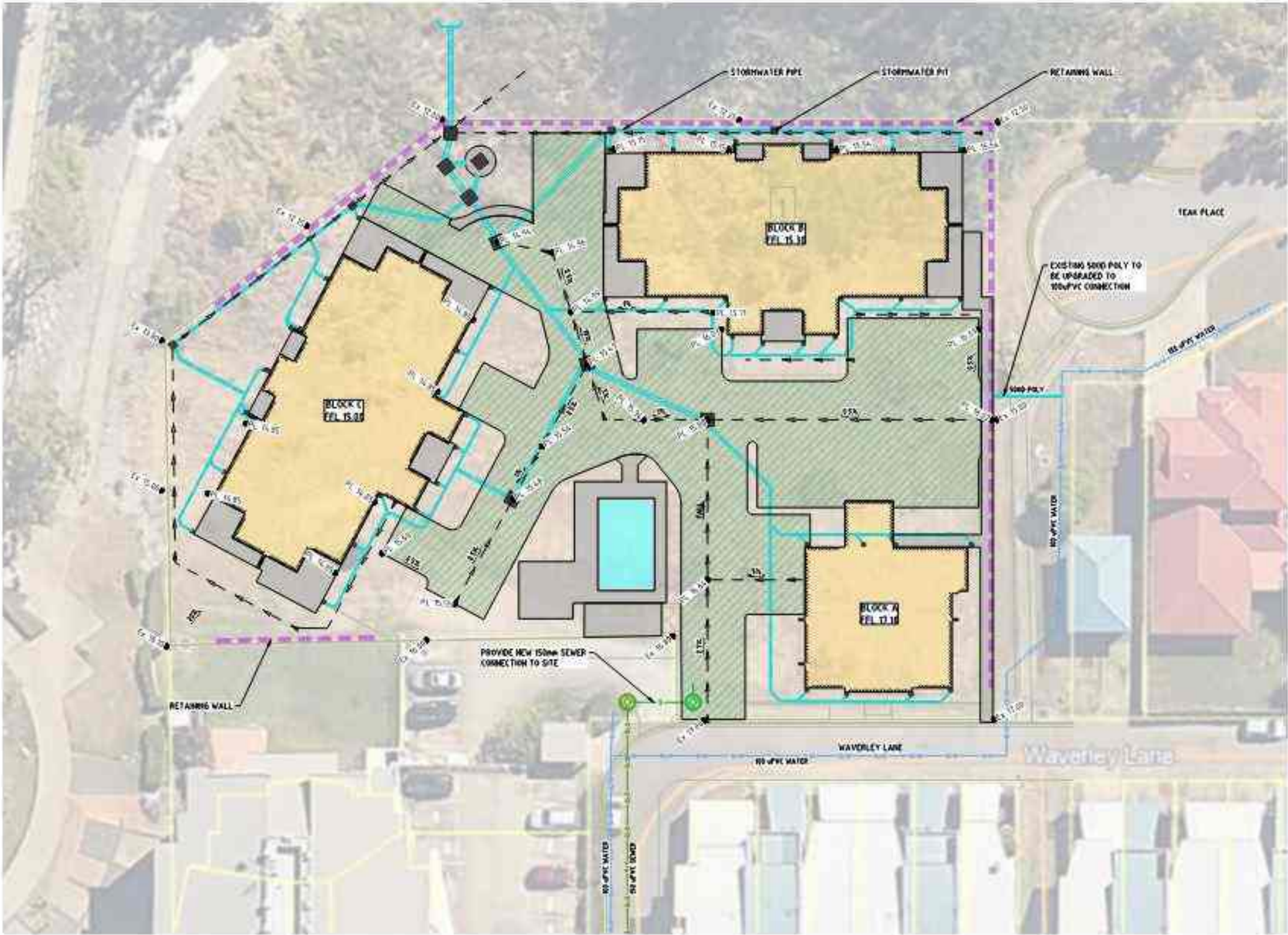
Table 5.3 - Water by Design MUSIC Modelling Parameters – Urban Residential Split Catchment

6. Discussion / Conclusion

As demonstrated within the report, the proposed development can be undertaken, and a summary of the requirements are as follows:-

- The Defined Flood Event (DFE) with ARI 1 in 100 years is 12.07m AHD
- The non-habitable floor levels are to be at or above the DFE of 12.07m AHD, habitable floor levels are to be set to a minimum 300mm above the DFE at 12.37m AHD.
- The Minor Design Event is ARI 2 year - 1 in 2 years
- The Major Design Event is ARI 100year - 1 in 100 years
- No detention is required
- The site requires Stormwater Quality Treatment consisting of 4No. Atlan Stormsacks (or equivalent) in combination with the 5/AtlanFilters (or Equivalent) in an AtlanVault
- The Legal Point of Discharge is the Ross River.

Appendix A: Schematic Drainage Plan



STP STP CONSULTANTS	
Client OPULENCE BUILDERS GROUP	
Project Details PROPOSED MULTIPLE DWELLINGS 13-14 WAVERLEY LANE DOUGLAS QLD 4814	
Drawing Title SCHEMATIC DRAINAGE PLAN	
Job No. STP25-0424	Drawing No. SK001
Revision A	Date 11/08/2025
CIVIL	

Appendix B: Atlan Filter

BRISBANE

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MACKAY

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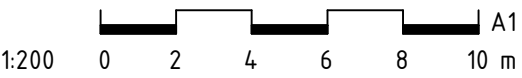
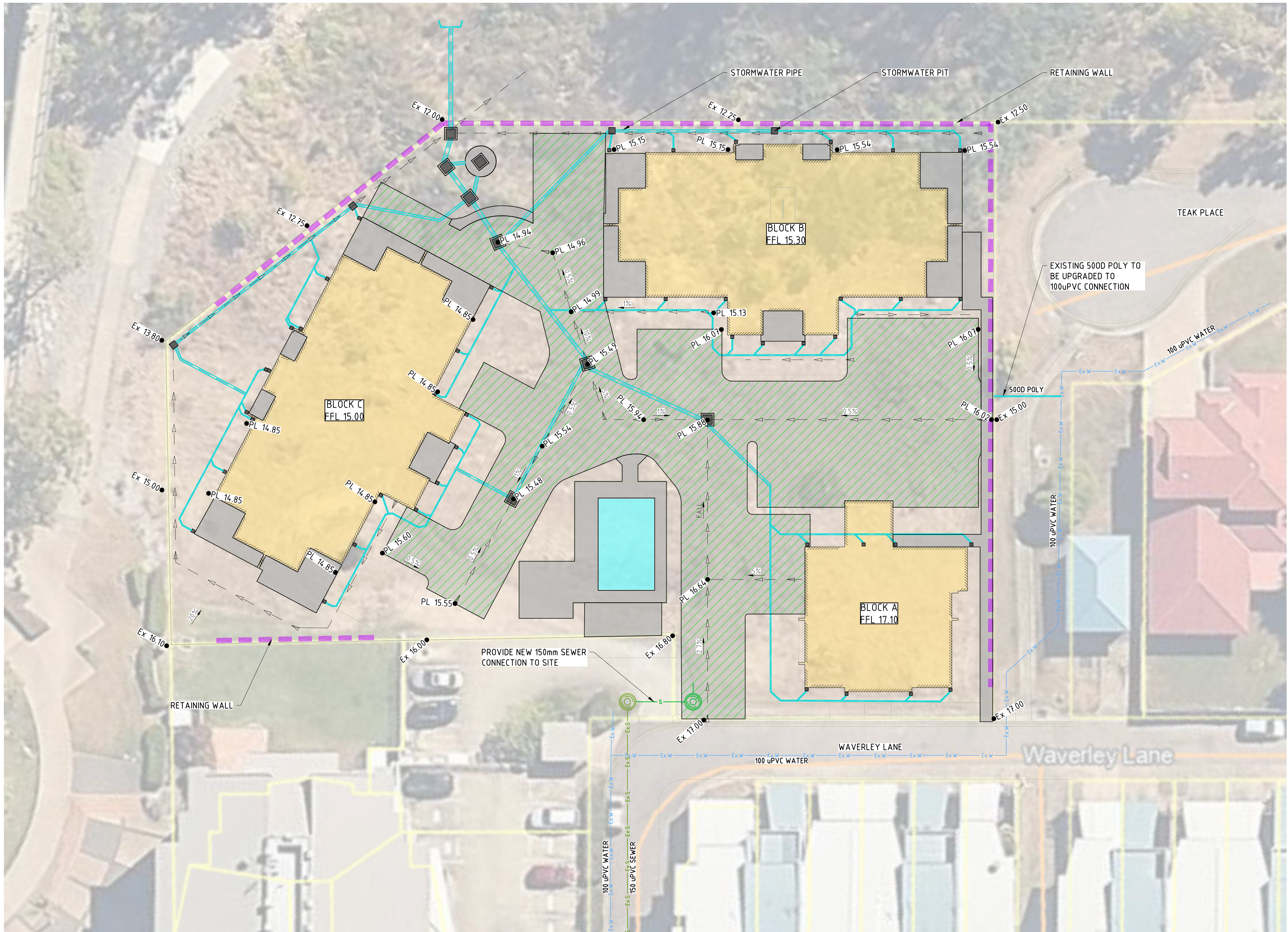
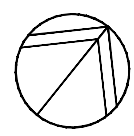
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Client OPULENCE BUILDERS GROUP	
Project Details PROPOSED MULTIPLE DWELLINGS 12-14 WAVERLEY LANE, DOUGLAS QLD 4814	
Drawing Title SCHEMATIC DRAINAGE PLAN	
Job No. STP25-0424	Drawing No. SK001
Revision A	Date 11/06/2025
CIVIL	



Appendix 8

PROPOSED MULTIPLE DWELLINGS
OPULENCE BUILDERS GROUP
2-14 WAVERLEY LANE, DOUGLAS

PRELIMINARY
NOT FOR CONSTRUCTION
PLANS ARE SUBJECT TO CHANGE TO
COMPLY WITH RELEVANT COVENANT &
BUILDING CERTIFICATION APPROVALS.

SHEET LIST						
SHEET No.	SHEET NAME	Project Issue DATE	Project Revision	Current Revision	Revision Date	Current Revision Description
01	COVER PAGE	17.04.25	1	10	29.09.25	RADIUS CHANGE
02	SITE PLAN - PROPOSED	17.04.25	1	10	29.09.25	RADIUS CHANGE
04-A-01	BOK A- FLOOR PLANS	17.04.25	1	10	29.09.25	RADIUS CHANGE
04-B-01	BOK B- FLOOR PLAN - GROUND LEVEL	17.04.25	1	10	29.09.25	RADIUS CHANGE
04-B-02	BOK B- FLOOR PLAN - LEVEL 1	17.04.25	1	10	29.09.25	RADIUS CHANGE
04-B-03	BOK B- FLOOR PLAN - LEVEL 2	17.04.25	1	10	29.09.25	RADIUS CHANGE
04-B-04	BOK B- FLOOR PLAN - LEVEL 3	17.04.25	1	10	29.09.25	RADIUS CHANGE
04-C-01	BLK C- FLOOR PLAN - GROUND LEVEL	17.04.25	1	10	29.09.25	RADIUS CHANGE
04-C-02	BLK C- FLOOR PLAN - LEVEL 01	17.04.25	1	10	29.09.25	RADIUS CHANGE
04-C-03	BLK C- FLOOR PLAN - LEVEL 02	17.04.25	1	10	29.09.25	RADIUS CHANGE
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05-B-01	ELEVATIONS	17.04.25	1	10	29.09.25	RADIUS CHANGE
05-B-02	ELEVATIONS	17.04.25	1	10	29.09.25	RADIUS CHANGE
05-C-01	ELEVATIONS	17.04.25	1	10	29.09.25	RADIUS CHANGE
05-C-02	ELEVATIONS	17.04.25	1	10	29.09.25	RADIUS CHANGE
13	AREA PLAN - GFA SCHEDULE	17.04.25	1	10	29.09.25	RADIUS CHANGE
14	AREA PLAN - SITE	17.04.25	1	10	29.09.25	RADIUS CHANGE

GENERAL:

1. IF IN DOUBT, JUST ASK.
2. USE FIGURED DIMENSIONS, DO NOT SCALE FROM DRAWINGS.
3. CONFIRM ALL RELEVANT DIMENSIONS, LEVELS AND DETAILS ON SITE PRIOR TO COMMENCEMENT OF ALL WORK. CONFIRM SETBACKS TO ALL ALIGNMENTS.
4. THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ENGINEERING AND OTHER CONSULTANT'S DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES SHALL BE REFERRED TO THE BUILDING DESIGNERFOR DISCUSSION BEFORE PROCEEDING WITH THE WORK.
5. DESIGN AND CONSTRUCTION TO COMPLY WITH CURRENT STANDARD BUILDING BY-LAWS, BUILDING ACT, BUILDING AMENDMENT ACT, BUILDING AND OTHER LEGISLATION AMENDMENT ACT, QUEENSLAND DDEVELOPMENT CODE, BUILDING CONDE OF AUSTRALIA, CURRENT AUSTRALIAN STANDARDS, STATUTORY REQUIREMENTS, ORDINANCES, LOCAL GOVERNMENT REQUIREMENTS, RELEVANT BUILDING AUTHORITIES AND ALL CONTRACT DOCUMENTATION.
6. CARRY OUT ALL WORK IN A SAFE MANNER IN ACCORDANCE WITH APPLICABLE STATUTORY REGULATIONS, BY-LAWS OR RULES. COMPLY WITH RELEVANT STATE OCCUPATIONAL HEALTH AND SAFETY ACTS INCLUDING ASSOCIATED REGULATIONS AND CODES OF PRACTISE. CONTRACTOR IS RESPONSIBLE FOR OCCUPATIONAL HEALTH AND SAFETY OF SITE PERSONNEL AND GENERAL PUBLIC IN ACCRODANCE WITH LEGISLATIVE REQUIREMENTS, INDUSTRIAL AGREEMENTS AND ACCEPTED INDUSTRY PRACTISE.
7. TIMBER CONSTRUCTION TO COMPLY WITH AS1720. DOMESTIC TIMBER CONSTRUCTION IN NON-CYCLONIC LOCATIONS SHALL BE IN ACCORDANCE WITH AS1684.
8. ALL BRICKWORK AND BLOCKWORK SHALL BE IN ACCORDANCE WITH AS3700.
9. ALL PROPRIETARY PRODUCTS AND SYSTEMS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATION AND INSTRUCTIONS.
10. GARAGE DOORS TO COMPLY WITH THE ABCB HOUSING PROVISION PART 2.2. - GARAGE DOORS AND OTHER LARGE ACCESS DOORS IN OPENINGS NOT MORE THAN 3M IN HEIGHT IN EXTERNAL WALLS OF BUILDINGS DETERMINED AS BEING LOCATED IN WIND REGION C OR D IN ACCORDANCE WITH FIGURE 2.2.3 : AS/NZS 4505.
11. WHEN BUILDING IN A CORROSIVE ENVIRONMENT, CORROSION PROTECTION IS TO COMPLY WITH SECTION 6.3.9 OF THE ABCB HOUSING PROVISIONS
12. THESE DRAWINGS ARE THE COPYRIGHT OF THE DESIGN HOUSE NQ AND MAY NOT BE USED, RETAINED OR REPRODUCED WITHOUT WRITTEN AUTHORITY.
13. THESE DRAWINGS ARE FOR THE PURPOSE OF GAINING A BUILDING APPROVAL ONLY.

CLASS 1 & 2 BUILDINGS OR ASSESSABLE AND SELF-ASSESSABLE RENOVATIONS

LIGHTING - ENERGY EFFICIENT LIGHTING - WHICH IS A GLOBE WITH A MINIMUM OUTPUT OF 30 LUMENS/WATT INSTALLED TO A MINIMUM OF 80% OF THE TOTAL FIXED INTERNAL LIGHTING. EXCLUDING LAMPS RADIATING HEAT IN BATHROOMS.

NEW AND REPLACEMENT AIR-CONDITIONING TO HAVE ENERGY EFFICIENCY RATING TO MINIMUM 2.9

IN AREAS SERVICED BY A WATER SERVICE PROVIDER:-

- * SHOWER ROSES IN A AREA WITH A RETICULATED WATER SERVICE MUST BE MIN 3 STAR WELS RATED.
- * ALL TOILET CISTERNS MUST HAVE A DUAL FLUSH FUNCTION AND HAVE A MIN. OF 4 STAR WELS RATING WHICH MUST BE COMPATABLE WITH THE SIZE OF THE TOILET BOWL.
- * ALL TAPS SERVING LAUNDRY TUBS, KITCHEN SINKS AND BATHROOM BASINS MUST HAVE A 3 STARWELS RATING.

(WELS - WATER EFFICIENCY LABELLING AND STANDARDS)

(QDC - QUEENSLAND DEVEOPEMENT CODE)

(MP - MANDATORY PART)

SUSTAINABLE BUILDING REQUIREMENTS @ 1 MARCH 2009 - CLASS 1 BUILDINGS

NEW WORK - HOT WATER SYSTEMS MUST BE SUPPLIED BY A:-

- SOLAR HOT WATER SYSTEM, OR HEAT PUMP HOT WATER SYSTEM OR GAS HOT WATER SYSTEM.

TANKS IF REQUIRED BY LOCAL AUTHORITY:

- 5000LTR FOR DETACHED CLASS 1, 3000LTR FOR OTHER THAN CLASS 1 DETACHED AS PER QDC MP 4.2 WATER SAVINGS TARGETS:-
- TO RECIEVE A MINIMUM ROOF AREA AT LEAST 100SQM OR ONE HALF OF THE TOTAL ROOF AREA WHICHEVER IS THE LESSER.
- BE CONNECTED TO TOILET CISTERNS, WASHING MACHINE COLD WATER TAPS (OTHER THAN GREY WATER CONNS.) AND EXTERNAL USE TAPS, REFER QDC MP 4.2 FOR VARIATIONS. PLUMBER TO REFER TO QDC MP 4.2 FOR COMPLETE TANKREQUIREMENTS

Townsville City Council
Approved Subject to Conditions
MCU25/0006
10/12/2025

NOTES:

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9	19.09.25	CAR PARKING CHANGES
8	18.09.25	DELETE PATH / MOVE GATE
7	11.09.25	DA AMENDMENTS
6	10.06.25	MECH SCHEDULE ADDED
5	10.06.25	AREA SCHEDULES
4	06.06.25	TRAFFIC TO TCC SKETCH
3	30.05.25	SITE / TRAFFIC UPDATE
2	29.05.25	RESPONSE TO CERTIFIER
1	17.04.25	PRELIMINARY
REV ISSUE	DATE	DESCRIPTION

THE DESIGN HOUSE NQ
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BUILDING DESIGN OPEN RISE



Project: PROPOSED MULTIPLE DWELLINGS

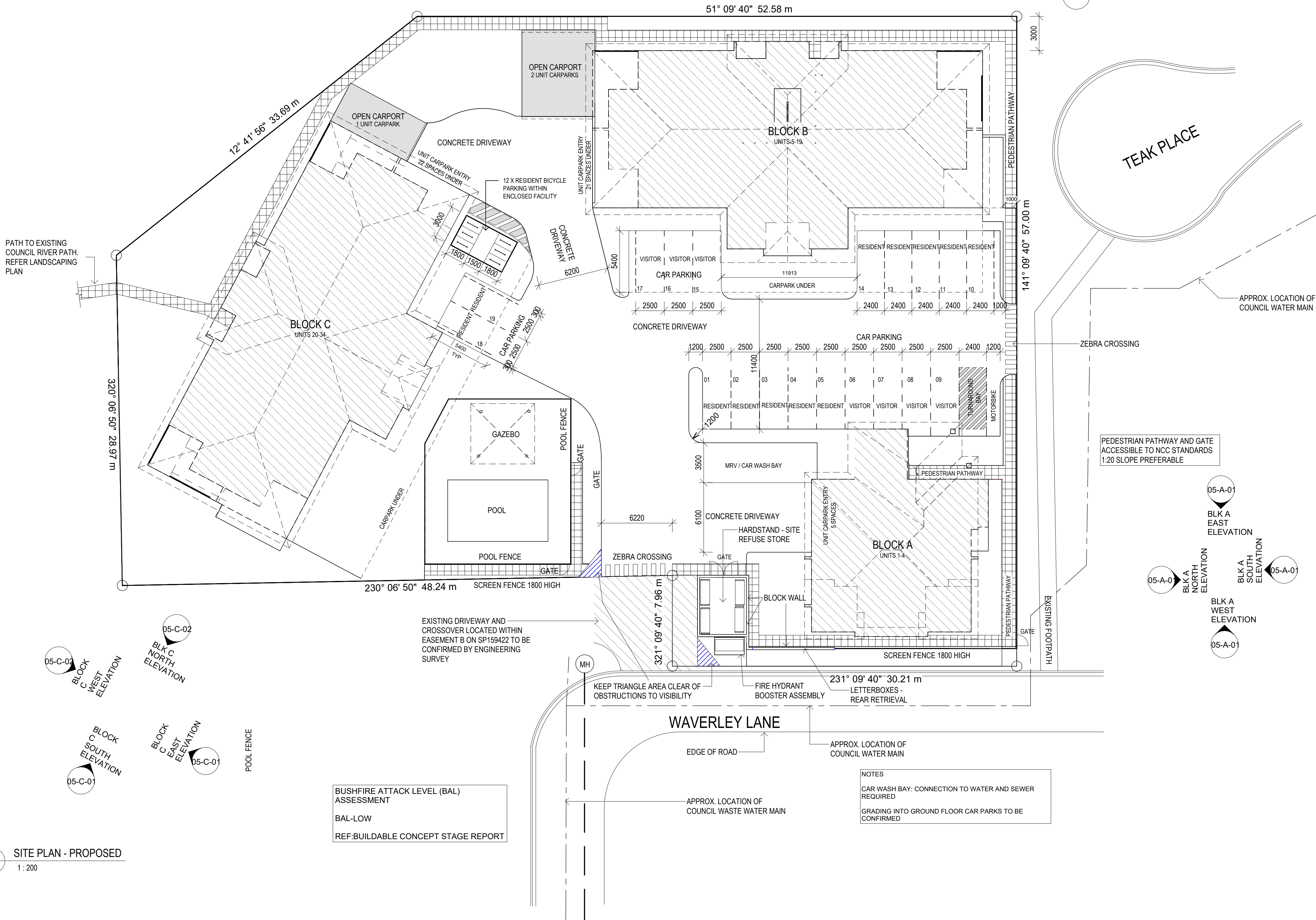
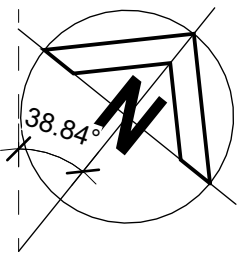
Client: OPULENCE BUILDERS GROUP

Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: COVER PAGE

Date: 17.04.25 Drawn: D.A.
Scale: 1 : 1 Designed: N.H

Job No.:	Drawing No.:	Rev.
2025-093-R	DD 01	10



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PEDESTRIAN PATHWAY AND GATE
ACCESSIBLE TO NCC STANDARDS
1:20 SLOPE PREFERABLE

NOTES
CAR WASH BAY: CONNECTION TO WATER AND SEWER
REQUIRED
GRADING INTO GROUND FLOOR CAR PARKS TO BE
CONFIRMED

REAL PROPERTY DESCRIPTION

LOT 999 ON SP 159422
AREA OF LAND: 3869m²
LOCAL GOVERNMENT: TOWNSVILLE CITY COUNCIL

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REV	ISSUE	DATE
		DESCRIPTION

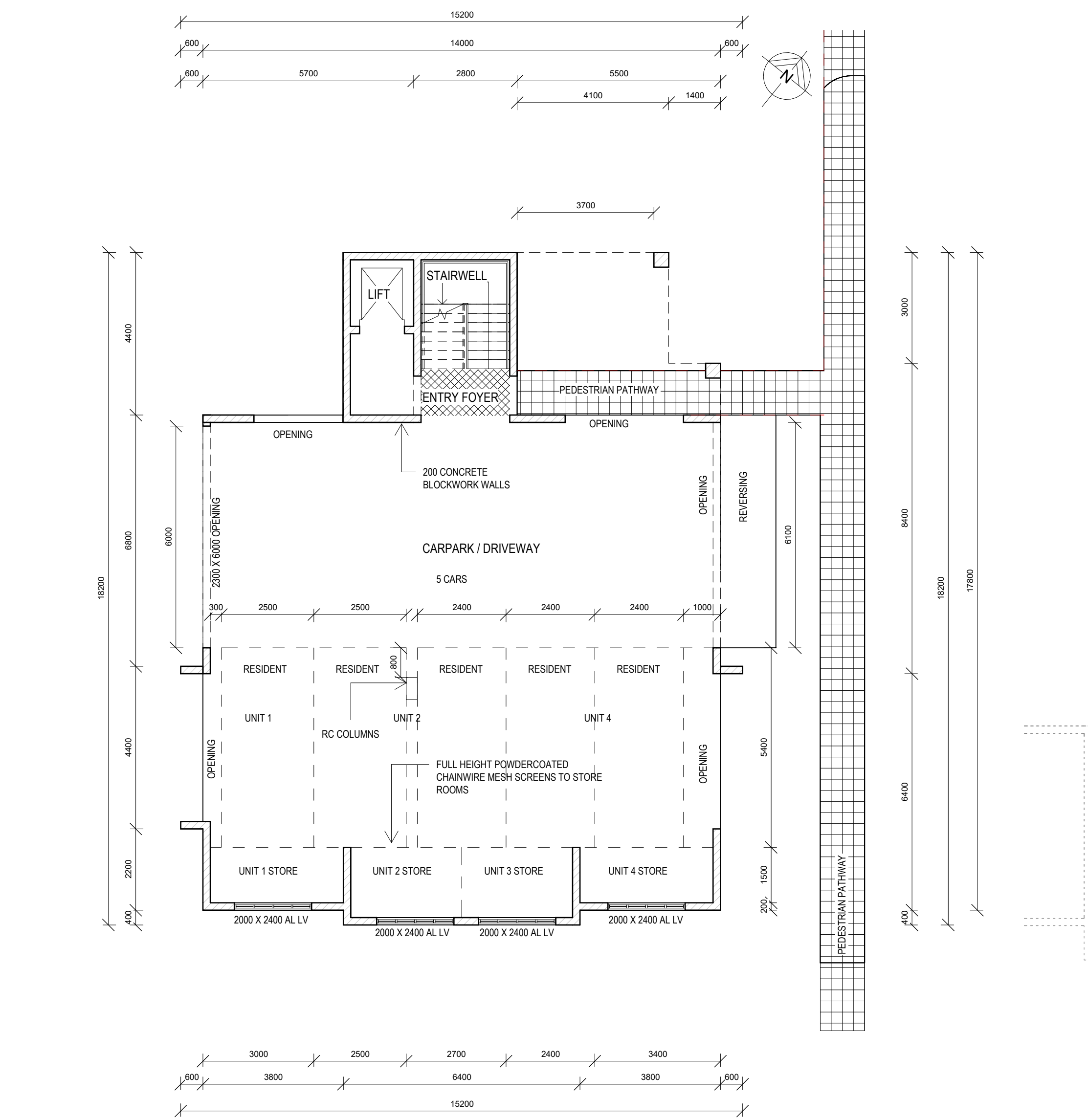
THE DESIGN HOUSE NQ
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The
Design
House^{NQ}

Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

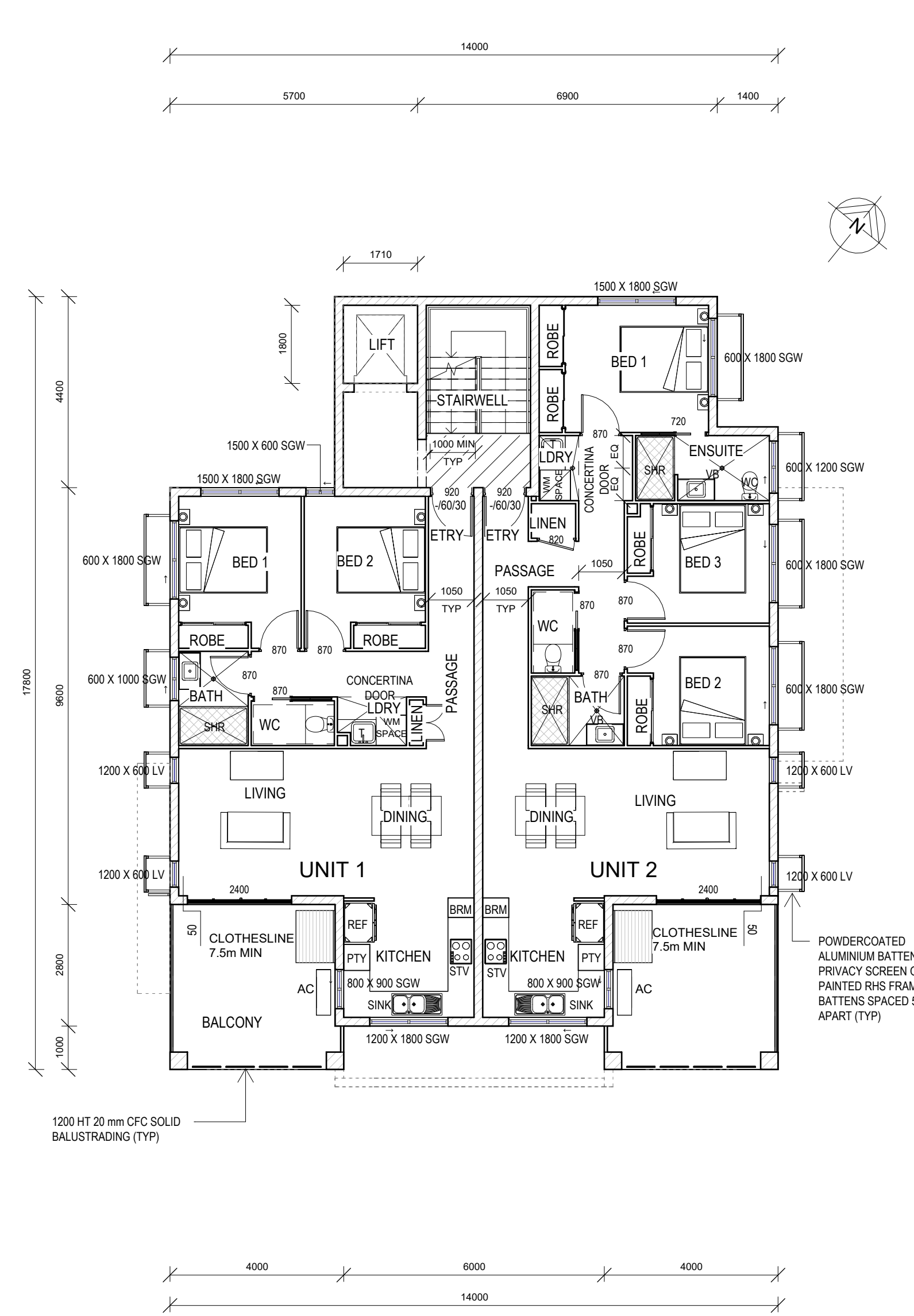
TITLE: SITE PLAN - PROPOSED
Date: 17.04.25 Drawn: D.A.
Scale: As indicated Designed: N.H.
Job No.: 2025-093-R Drawing No.: DD 02 Rev: 10

MECHANICAL EQUIPMENT SCHEDULE	
MARK	DESCRIPTION
AC	AIR CONDITIONING CONDENSER

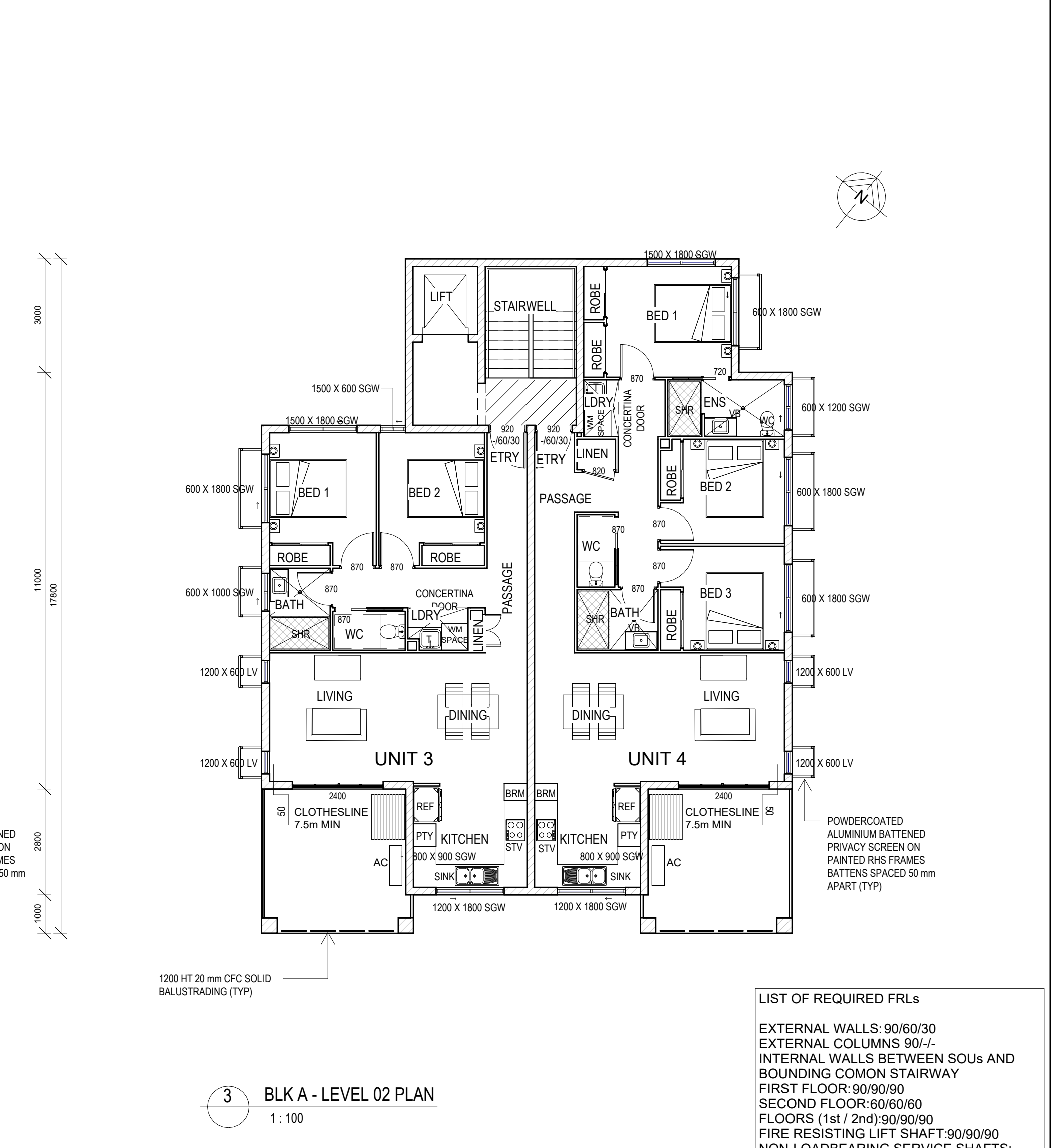


1 BLK A - GROUND LEVEL PLAN
1: 100

Townsville City Council
Approved Subject to Conditions
MCU25/0006
10/12/2025



2 BLK A - LEVEL 01 PLAN
1: 100



3 BLK A - LEVEL 02 PLAN
1: 100

WET AREAS	LIST OF REQUIRED FRLs
WATERPROOFING TO WET AREAS: 1: 80 MINIMUM FALL TO REQUIRED FLOOR WASTES IN LAUNDRY AND BATHROOMS	EXTERNAL WALLS: 90/60/30 EXTERNAL COLUMNS 90/-/ INTERNAL WALLS BETWEEN SOUs AND BOUNDING COMON STAIRWAY FIRST FLOOR: 90/90/90 SECOND FLOOR: 60/60/60 FLOORS (1st / 2nd): 90/90/90 FIRE RESISTING LIFT SHAFT: 90/90/90 NON-LOADBEARING SERVICE SHAFTS: -/90/90 PROTECTION OF UNIT DOORS: -/60/30
WET AREA CONSTRUCTION TO AS 3740 INCL. WATER RESISTANT SURFACE MATERIALS	REF: BUILDABLE CONCEPT STAGE REPORT BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT BAL-LOW
CONSTRUCTION TO LIVABLE HOUSING DESIGN STANDARD, AUSTRALIAN BUILDING CODES BOARD	REF: BUILDABLE CONCEPT STAGE REPORT OPENINGS INTO SERVICES SHAFTS MUST BE PROTECTED PER NCC VOLUME 1, PART C4D14
SOUND TRANSMISSION AND INSULATION	EXTERNAL BALCONY WEATHERPROOFING MINIMUM STEPDOWN TO BALCONIES 50mm 1:100 FALL AWAY FROM EXTERNAL WALLS IN ACCORDANCE WITH AS 4654.2
FLOORS IN CLASS 2 & 3 - R _w + C _{tr} (AIRBORNE) NOT LESS THAN 50 AND AN LN,W (IMPACT) NOT MORE THAN 62. REF: NCC VOL. 1, PART F7D5 WALLS IN CLASS 2 & 3 - R _w + C _{tr} (AIRBORNE) NOT LESS THAN 50. REF: NCC VOL. 1, PART F7D6	CONDENSATION MANAGEMENT TO NCC VOLUME 1, PART F8

NOTES:
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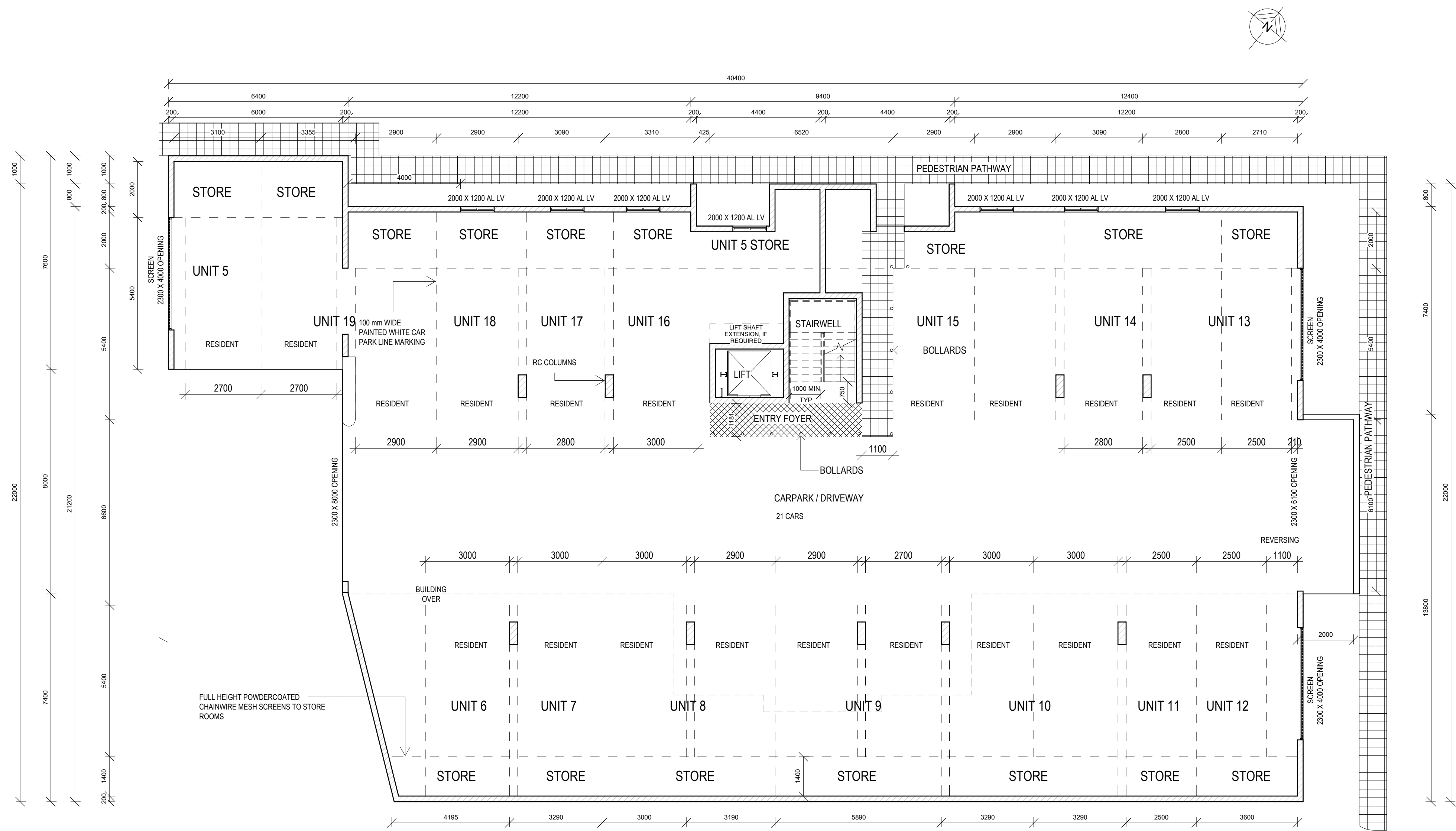
REV	ISSUE	DATE	DESCRIPTION
10		29.09.25	RADIUS CHANGE
9		19.09.25	CAR PARKING CHANGES
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2		29.05.25	RESPONSE TO CERTIFIER

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BUILDING DESIGN OPEN RISE



Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: BCK A - FLOOR PLANS
Date: 17.04.25 Drawn: DE
Scale: 1 : 100 Designed: Designer
Job No.: 2025-093-R Drawing No.: DD 04-A-01 Rev. 10



1 BLK B - GROUND LEVEL PLAN
1 : 100

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10/12/2025

- LIST OF REQUIRED FRLs
- EXTERNAL WALLS: 90/60/30
EXTERNAL COLUMNS 90/-/
INTERNAL WALLS BETWEEN SOUs AND
BOUNDING COMON STAIRWAY
FIRST FLOOR: 90/90/90
SECOND FLOOR: 80/60/60
FLOORS (1st / 2nd): 90/90/90
FIRE RESISTING LIFT SHAFT: 90/90/90
NON-LOADBEARING SERVICE SHAFTS:
-/90/90
PROTECTION OF UNIT DOORS: -/60/30
- REF: BUILDABLE CONCEPT STAGE REPORT
- BUSHFIRE ATTACK LEVEL (BAL)
ASSESSMENT
- BAL-LOW
- REF: BUILDABLE CONCEPT STAGE REPORT

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Project: PROPOSED MULTIPLE DWELLINGS

Client: OPULENCE BUILDERS GROUP

Location: 2-14 WAVERLEY LANE, DOUGLAS

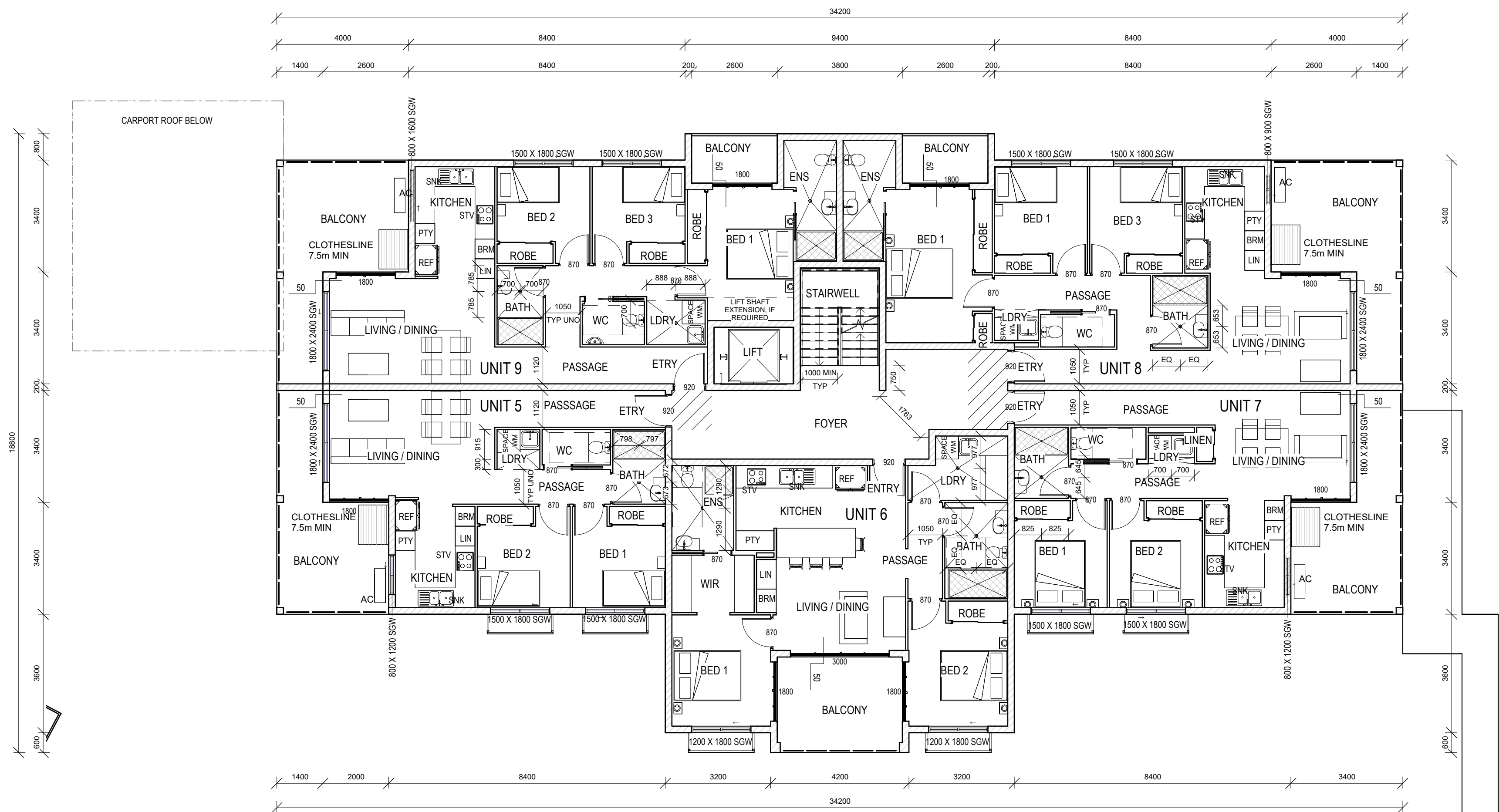
TITLE: BCK B - FLOOR PLAN - GROUND LEVEL

Date: 17.04.25 Drawn: DE

Scale: 1 : 100 Designed: Designer

Job No.:	Drawing No.:	Rev.
2025-093-R	DD 04-B-01	10

MECHANICAL EQUIPMENT SCHEDULE	
MARK	DESCRIPTION
AC	AIR CONDITIONING CONDENSER



1 BLK B - LEVEL 01 PLAN
1:100

Townsville City Council
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10/12/2025

WET AREAS
WATERPROOFING TO WET AREAS: 1: 80
MINIMUM FALL TO REQUIRED FLOOR
WASTES IN LAUNDRY AND BATHROOMS
WET AREA CONSTRUCTION TO AS 3740
INCL. WATER RESISTANT SURFACE
MATERIALS

CONSTRUCTION TO LIVABLE HOUSING
DESIGN STANDARD, AUSTRALIAN
BUILDING CODES BOARD

SOUND TRANSMISSION AND INSULATION
FLOORS IN CLASS 2 & 3 - $R_w + C_{tr}$
(AIRBORNE) NOT LESS THAN 50 AND AN
LN,W (IMPACT) NOT MORE THAN 62.
REF: NCC VOL. 1, PART F7D5
WALLS IN CLASS 2 & 3 - $R_w + C_{tr}$
(AIRBORNE) NOT LESS THAN 50.
REF: NCC VOL. 1, PART F7D6

- LIST OF REQUIRED FRLs
- EXTERNAL WALLS: 90/60/30
EXTERNAL COLUMNS 90/-/
INTERNAL WALLS BETWEEN SOUs AND
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FIRST FLOOR: 90/90/90
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-/90/90
PROTECTION OF UNIT DOORS: -/60/30
- REF: BUILDABLE CONCEPT STAGE REPORT
- BUSHFIRE ATTACK LEVEL (BAL)
ASSESSMENT
- BAL-LOW
- REF: BUILDABLE CONCEPT STAGE REPORT
- OPENINGS INTO SERVICES SHAFTS MUST
BE PROTECTED PER NCC VOLUME 1,
PART C4D14
- EXTERNAL BALCONY
WEATHERPROOFING
- MINIMUM STEPDOWN TO BALCONIES
50mm
- 1:100 FALL AWAY FROM EXTERNAL
WALLS IN ACCORDANCE WITH AS 4654.2
- CONDENSATION MANAGEMENT TO NCC
VOLUME 1, PART F8

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Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: BCK B - FLOOR PLAN - LEVEL 1
Date: 17.04.25 Drawn: DE
Scale: 1 : 100 Designed: Designer
Job No.: 2025-093-R Drawing No.: DD 04-B-02 Rev. 10