

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	KHUYEN THIEN LUONG and YEN HONG PHAM C/o- McPeake Town Planning QLD Pty Ltd
Contact name (only applicable for companies)	James McPeake
Postal address (P.O. Box or street address)	PO Box 5829
Suburb	Cairns
State	QLD
Postcode	4870
Country	Aus
Contact number	0481869671
Email address (non-mandatory)	approvals@jamesmcpeake.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	114 Anne
1.1) Home-based business	
<input type="checkbox"/> Personal details to remain private in accordance with section 264(6) of <i>Planning Act 2016</i>	
2) Owner's consent	
2.1) Is written consent of the owner required for this development application?	
<input type="checkbox"/> Yes – the written consent of the owner(s) is attached to this development application	
<input checked="" type="checkbox"/> No – proceed to 3)	

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		114	Anne	Aitkenvale
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
		6	RP716461	TCC
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Latitude(s)	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

- ☐ Coordinates of premises by easting and northing

Easting(s)	Northing(s)	Zone Ref.	Datum	Local Government Area(s) (if applicable)
		<input type="checkbox"/> 54 <input type="checkbox"/> 55 <input type="checkbox"/> 56	<input type="checkbox"/> WGS84 <input type="checkbox"/> GDA94 <input type="checkbox"/> Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

<input type="checkbox"/> On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport: <input type="text"/>
<input type="checkbox"/> Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification: <input type="text"/>
<input type="checkbox"/> Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification: <input type="text"/>

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see [DA Forms Guide](#).

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☒ No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? *(tick only one box)*

- ☒ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☒ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☒ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

Multiple Dwelling (4 Units)

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms guide: Relevant plans](#).*

- ☒ Relevant plans of the proposed development are attached to the development application

6.2) Provide details about the second development aspect

a) What is the type of development? *(tick only one box)*

- ☐ Material change of use ☐ Reconfiguring a lot ☐ Operational work ☐ Building work

b) What is the approval type? *(tick only one box)*

- ☐ Development permit ☐ Preliminary approval ☐ Preliminary approval that includes a variation approval

c) What is the level of assessment?

- ☐ Code assessment ☐ Impact assessment *(requires public notification)*

d) Provide a brief description of the proposal *(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):*

e) Relevant plans

Note: *Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).*

- ☐ Relevant plans of the proposed development are attached to the development application

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☐ Not required

6.4) Is the application for State facilitated development?

- ☐ Yes - Has a notice of declaration been given by the Minister?
- ☐ No

Section 2 – Further development details**7) Does the proposed development application involve any of the following?**

Material change of use	<input type="checkbox"/> Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	<input type="checkbox"/> Yes – complete division 2
Operational work	<input type="checkbox"/> Yes – complete division 3
Building work	<input type="checkbox"/> Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)
Multiple Dwelling (4 Units)	Multiple Dwelling	4	

8.2) Does the proposed use involve the use of existing buildings on the premises?

- ☐ Yes
- ☒ No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

Provide a general description of the temporary accepted development	Specify the stated period dates under the Planning Regulation

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

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9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

<input type="checkbox"/> Subdivision (complete 10)	<input type="checkbox"/> Dividing land into parts by agreement (complete 11)
<input type="checkbox"/> Boundary realignment (complete 12)	<input type="checkbox"/> Creating or changing an easement giving access to a lot from a constructed road (complete 13)

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?	
<input type="checkbox"/> Yes – provide additional details below <input type="checkbox"/> No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)
12.2) What is the reason for the boundary realignment?			

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefitted by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?		
<input type="checkbox"/> Road work <input type="checkbox"/> Drainage work <input type="checkbox"/> Landscaping <input type="checkbox"/> Other – please specify:	<input type="checkbox"/> Stormwater <input type="checkbox"/> Earthworks <input type="checkbox"/> Signage	<input type="checkbox"/> Water infrastructure <input type="checkbox"/> Sewage infrastructure <input type="checkbox"/> Clearing vegetation
14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)		
<input type="checkbox"/> Yes – specify number of new lots:		
<input type="checkbox"/> No		

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

TCC

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS

17) Does this development application include any aspects that have any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA has not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places – Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridor and future State transport corridor
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land – near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity



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- ☐ SEQ northern inter-urban break – community activity
- ☐ SEQ northern inter-urban break – indoor recreation
- ☐ SEQ northern inter-urban break – urban activity
- ☐ SEQ northern inter-urban break – combined use
- ☐ Tidal works or works in a coastal management district
- ☐ Reconfiguring a lot in a coastal management district or for a canal
- ☐ Erosion prone area in a coastal management district
- ☐ Urban design
- ☐ Water-related development – taking or interfering with water
- ☐ Water-related development – removing quarry material *(from a watercourse or lake)*
- ☐ Water-related development – referable dams
- ☐ Water-related development – levees *(category 3 levees only)*
- ☐ Wetland protection area

Matters requiring referral to the **local government**:

- ☐ Airport land
- ☐ Environmentally relevant activities (ERA) *(only if the ERA has been devolved to local government)*
- ☐ Heritage places – Local heritage places

Matters requiring referral to the **Chief Executive of the distribution entity or transmission entity**:

- ☐ Infrastructure-related referrals – Electricity infrastructure

Matters requiring referral to:

- The **Chief Executive of the holder of the licence**, if not an individual
- The **holder of the licence**, if the holder of the licence is an individual
- ☐ Infrastructure-related referrals – Oil and gas infrastructure

Matters requiring referral to the **Brisbane City Council**:

- ☐ Ports – Brisbane core port land

Matters requiring referral to the **Minister responsible for administering the *Transport Infrastructure Act 1994***:

- ☐ Ports – Brisbane core port land *(where inconsistent with the Brisbane port LUP for transport reasons)*
- ☐ Ports – Strategic port land

Matters requiring referral to the **relevant port operator**, if applicant is not port operator:

- ☐ Ports – Land within Port of Brisbane's port limits *(below high-water mark)*

Matters requiring referral to the **Chief Executive of the relevant port authority**:

- ☐ Ports – Land within limits of another port *(below high-water mark)*

Matters requiring referral to the **Gold Coast Waterways Authority**:

- ☐ Tidal works or work in a coastal management district *(in Gold Coast waters)*

Matters requiring referral to the **Queensland Fire and Emergency Service**:

- ☐ Tidal works or work in a coastal management district *(involving a marina (more than six vessel berths))*

18) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☒ No

Referral requirement	Referral agency	Date of referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application *(if applicable)*.

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

☒ I agree to receive an information request if determined necessary for this development application

☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
- Part 3 under Chapter 1 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules or
- Part 2 under Chapter 2 of the DA Rules will still apply if the application is for state facilitated development

Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

☐ Yes – provide details below or include details in a schedule to this development application

☒ No

List of approval/development application references	Reference number	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

☐ Yes – a copy of the receipted QLeave form is attached to this development application

☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

☐ Yes – show cause or enforcement notice is attached

☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- ☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			

- ☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- ☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work which is assessable development under Schedule 10, Part 10 of the Planning Regulation 2017?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.desi.qld.gov.au for further information.

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the *Water Act 2000***?

- ☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the *Water Act 2000* may be required prior to commencing development
- ☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from planning.statedevelopment.qld.gov.au. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works**?

- ☐ Yes – the relevant template is completed and attached to this development application
- ☒ No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants**?

- ☐ Yes – an associated resource allocation authority is attached to this development application, if required under the *Fisheries Act 1994*
- ☒ No

Note: See guidance materials at www.daf.qld.gov.au for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake under the *Water Act 2000***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☐ No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water under the *Coastal Protection and Management Act 1995***?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development
- ☒ No

Note: Contact the Department of Environment, Science and Innovation at www.desi.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the *Water Supply (Safety and Reliability) Act 2008* (the *Water Supply Act*)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the *Water Supply Act* is attached to this development application
- ☒ No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title

☒ No

Note: See guidance materials at www.desi.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

☐ Yes – details of the heritage place are provided in the table below

☒ No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places.

For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

☐ Yes – this application will be taken to be an application for a decision under section 62 of the *Transport Infrastructure Act 1994* (subject to the conditions in section 75 of the *Transport Infrastructure Act 1994* being satisfied)

☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered

☒ No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information.

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17

☒ Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application

☐ Yes

☒ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#).

☒ Yes

Relevant plans of the development are attached to this development application

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

☒ Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21)

☐ Yes

☒ Not applicable



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25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work	
QLeave project number	
Amount paid (\$)	Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager	
Name of officer who sighted the form	



Development Application Report:

Material Change of Use – Multiple Dwelling (4 Units) –

114 Anne Street, Aitkenvale.

Lot 6 on RP716461

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1. EXECUTIVE SUMMARY

McPeake Town Planning Pty Ltd on behalf of K Luong and Y Pham as the owners of Lot 6 on RP716461, located at 114 Anne Street, Aitkenvale, seek a Development Permit for Material Change of Use - Multiple Dwelling (4 Units).

The proposed development seeks approval to construct 4 dwellings on the above-mentioned 1012m² allotment. The dwellings represent an attached townhouse design with two storey units consisting of 3 bedroom and 2 bathrooms per unit. Each three-bedroom unit is benefitted by sufficient private open space, single garage and tandem second parking spot. The site provides two (2) onsite visitor parking spaces.

The existing dwelling and structures contained on the site will be demolished to support the proposed development. The scale and density of the proposal is consistent with other recent development along Anne Street in recent years. Including, the adjoining development at 112 and 118 Anne Street. The built form outcome proposed is similar to the adjoining development. The proposed development achieves a greater density whilst not affecting streetscape amenity with a consistent streetscape form. The land is ideally situated to infill development, not being adversely affected by natural constraints and within walking distance to major attractors (Stockland Townsville), public transport hubs, recreational and open spaces along the Ross River.

The proposed multiple dwelling is deemed Impact Assessable under the Townsville City Plan, and will require a period of public notification period of 15 business days.

The proposed development is compliant with the relevant Codes; Policies and Conditions under the Townsville City Plan, and where minor non compliances have been observed, where reasonable and relevant should be appropriately conditioned.

The proposed development does not trigger any state or federal government referrals.

DA forms completed supporting this Development Application include:

- DA Form 1
- Site images

The following plans and drawings supporting this Development Application are attached in Appendix B:

- Proposal Plans – Prepared by Savage Architecture
- Site contour and detail survey

2. Site Characteristics

2.1 Summary of Proposal

McPeake Town Planning Pty Ltd on behalf of K Luong and Y Pham as the owners of Lot 6 on RP716461, located at 114 Anne Street, Aitkenvale, seek a Development Permit for Material Change of Use - Multiple Dwelling (4 Units).

Address and Property Description

- 114 Anne Street, Aitkenvale – Lot 6 on RP716461 , 1012m²

Figure 1: Aerial of site - Source: Queensland Globe, accessed 04/03/2025



Local Planning Authority

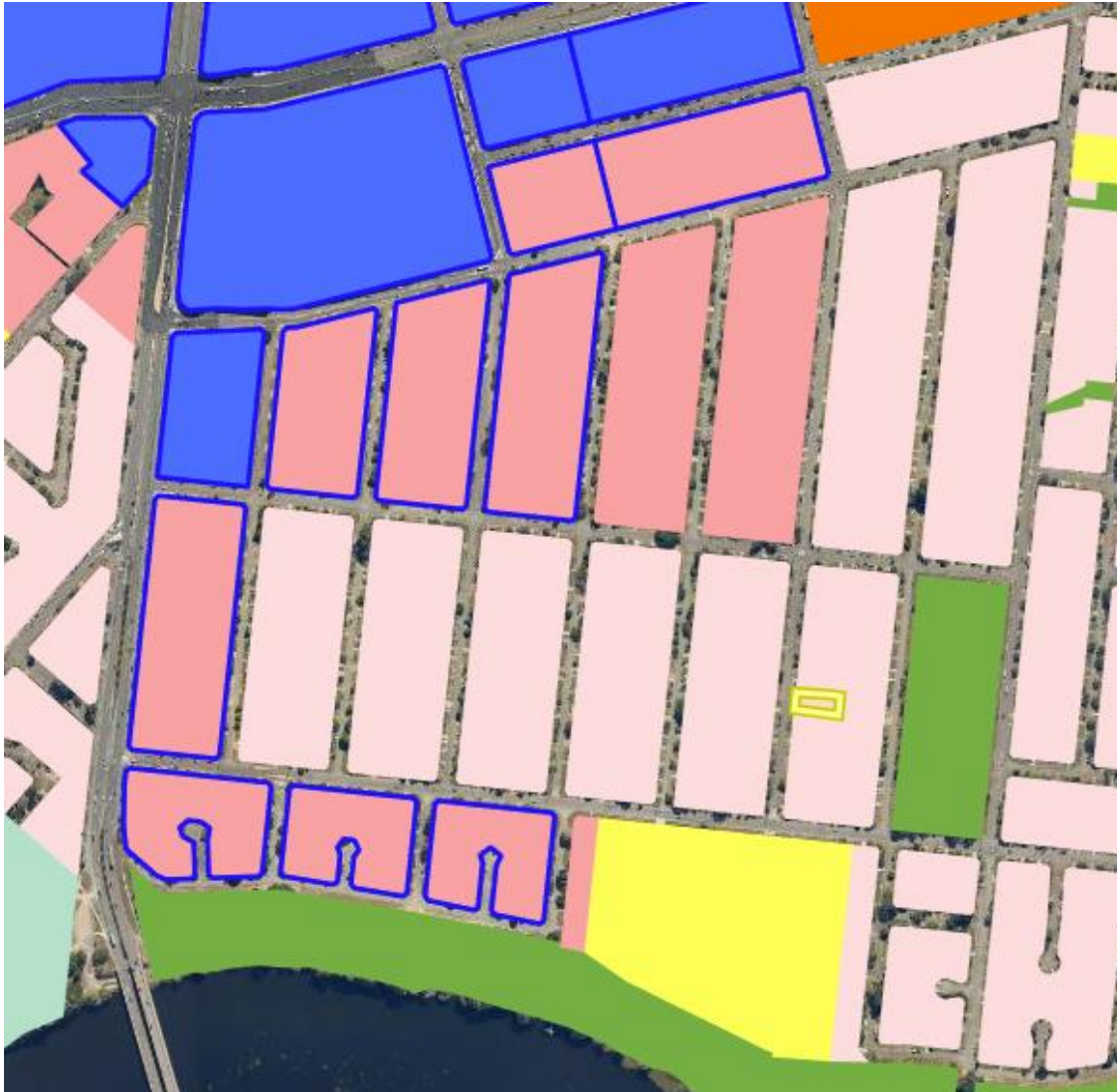
- Townsville City Council
- Townsville City Plan

2.2 Site Tenure

The subject properties are held in freehold tenure by our client.

Zoning of the Subject Site

Figure 2: Zoning: Low Density Residential Zone



https://maps.townsville.qld.gov.au/Mapping/index.html?viewer=TownsvilleMAPS_City_Plan_2014.Mapping

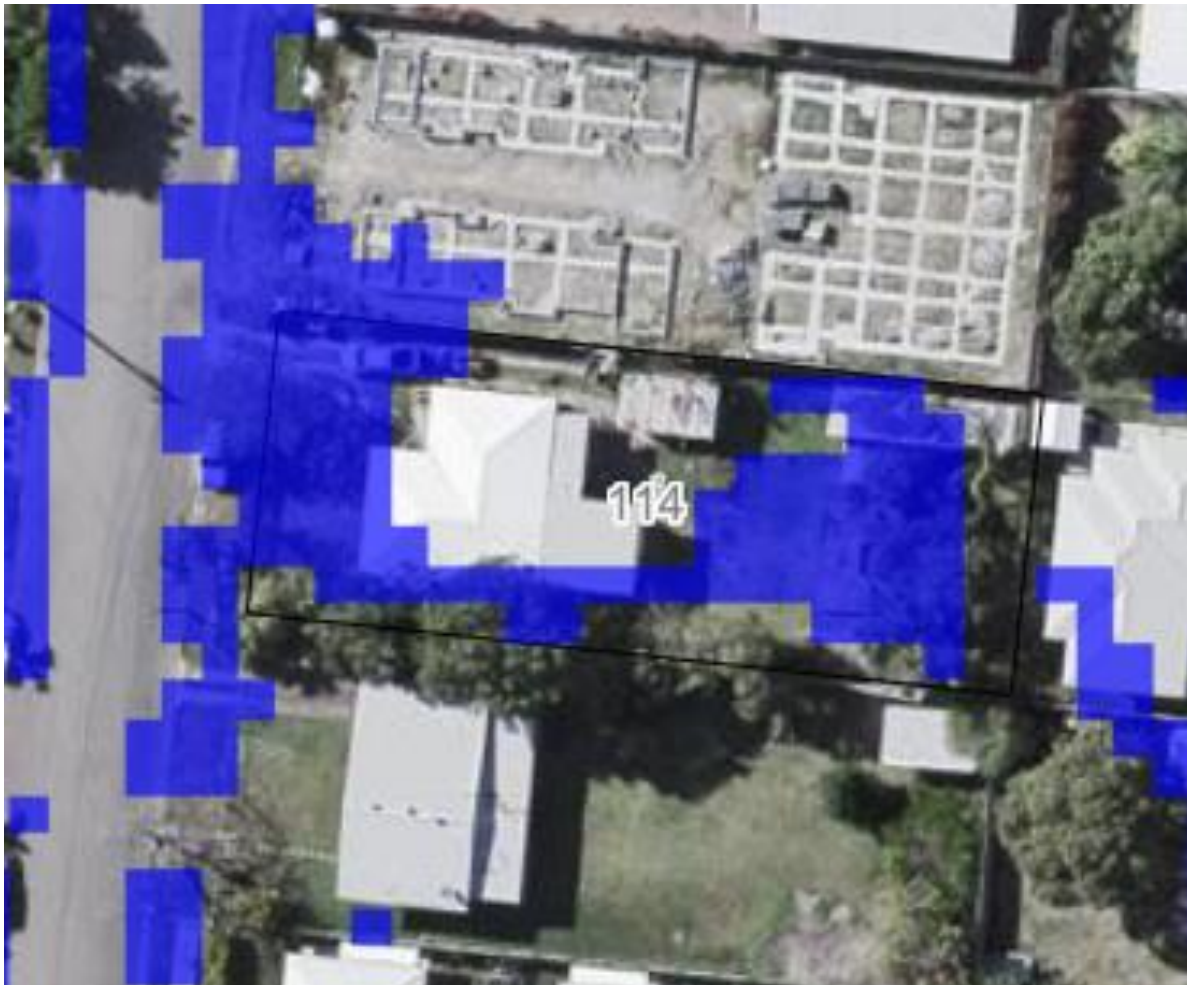
114 Anne Street Aitkenvale

2.3 Physical Characteristics and Surrounding Land Uses

The surrounding area is characterised by a mixture of dwellings – single detached dwellings, dual occupancies and multiple dwellings. Most infill development occurring within recent years also being located outside of the Aitkenvale Medium Density Precinct in the Low-Density Residential Zone. The subject allotment is predominantly flat and contains a single dwelling and outbuildings (shed and greenhouse) which is proposed to be demolished. The site is ideally situated to infill development, not being adversely affected by natural constraints and within walking distance to major attractors (Stockland Townsville), public transport hubs, recreational and open spaces along the Ross River.

As per the updated flood modelling for the area, the site is partially mapped within the flood hazard area with the 1% AEP flood depth being 10.26m AHD. The proposal has been designed to provide a compliant habitable finished floor level.

Figure 3 – TCC Flood Mapping (New)



3. PLANNING ASSESSMENT

3.1 Introduction

This proposed Material Change of Use (Multiple Dwelling) is lodged assessed in accordance with the relevant policies of the Townsville City Plan, with the proposed use being Impact Assessable Development.

3.2 Level of Assessment and Applicable Codes

In accordance with the Townsville City Plan the development assessment needs to address the following local codes/policies:

- **Level of Assessment:** Impact Assessable.
- **Zone Code:** Low Density Residential Zone Code
- **Overlays:** Flood Hazard Overlay (Medium and high Hazard)
- **Development Codes:** Healthy waters code, Landscape code, Transport impact, access and parking code, Works code

3.3 - Strategic Framework Response – Relevant Parts

Theme - Shaping Townsville

3.3.2 Element - City shape and housing

3.3.2.1 Specific outcomes

City shape and urban containment

1. The growth of Townsville will occur within the city's existing urban and rural residential areas, and in areas identified for urban expansion through the Emerging community zone. Urban and rural residential development does not occur outside land identified for these purposes.

Applicant Response: The proposal is located within an existing residential zoned allotment and does not occur outside the existing urban footprint of the city.

2. On the edges of the urban area, urban uses are adequately buffered from nearby rural land and natural assets so that the productive use of rural land and ecological and biophysical processes and values are not compromised.

Applicant Response - Not applicable.

Infill Development

3. Locations for significant infill development include the principal centre (CBD) and surrounds, North Ward, and in and around the Aitkenvale, Thuringowa Central and Hyde Park major centres. This infill development will have a focus on “place making” and enhancement of the public realm. These areas will boast a wide range of housing choices, taking advantage of nearby amenities and existing or planned public transport, and creating more compact, walkable and vibrant urban neighbourhoods.

Applicant Response: Complies. The proposal is located within the existing residential zoned land in Aitkenvale, being walking distance to major attractors, commercial areas and public open space.

4. Development in and around the principal centre (CBD) provides for a highly desirable inner city lifestyle. The highest and most intensive built form is focussed on the centre, framed by high-medium rise buildings. View corridors to Castle Hill along roads are maintained and access to and along Ross Creek and The Strand is maximised (Figure 3.2 – CBD and environs strategy plan).

Applicant Response - Not applicable.

5. Development in North Ward facilitates medium density residential choices within a high amenity environment. Development is primarily focussed on walkable, mixed use village nodes, with a pedestrian-friendly, active frontage along The Strand. Built form reinforces gateway corridors along Gregory and Landsborough Streets, but does not intensify uses in areas subject to likely flooding or storm surge risk. Buildings exceeding 5 storeys in height do not occur in the Medium density residential zone fronting The Strand. Open space and strong visual connections are maintained between Castle Hill and The Strand (Figure 3.3 – North Ward strategy plan).

Applicant Response - Not applicable.

6. Development in and around the Aitkenvale, Thuringowa Central and Hyde Park major centres assists in the evolution of vibrant urban neighbourhoods. A mix of uses is established within the centres and surrounding neighbourhoods are well-connected and integrated with the centres. A strong and positive sense of place is created by the establishment of active main street environments, more outward-oriented, street-focussed shopping centres and a boulevard-like streetscape along the major roads. Medium density residential uses increasingly occur within the centres and in the precincts surrounding them. Accessibility by walking, cycling and public transport is maximised (Figure 3.4 – Aitkenvale strategy plan, Figure 3.5 – Thuringowa Central strategy plan and Figure 3.6 – Hyde Park strategy plan).

Applicant Response Complies. The subject site is located just outside the Development intensification area - residential focus in the Aitkenvale Strategy Plan. However, it is still located within walking distance to amenities and is located within a pocket of residential intensification. The proposed developments built form is consistent with the built form of recent approved developments in the zone also located outside of the precinct.

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3.4 Theme - Strong and connected community

3.4.2 Element - Urban design

3.4.2.1 Specific outcomes

Design

1. Design of the built environment (including buildings, streets and public spaces):
 - a) is consistent with the existing or desired character of the local area;
 - b) is oriented to the street and public places;
 - c) enhances the quality of the street;
 - d) is responsive to Townsville's climate;
 - e) creates a human scale at street level;
 - f) protects and celebrates important views, landscape features and natural assets, and places of cultural heritage significance; and
 - g) makes it easy to get around, especially when walking or cycling: development is designed to integrate with its surroundings and has ample, not a minimum of, connections.
2. Good design assists in the success of those areas that will be the focus for growth, change and economic activity.

Applicant Response - Complies. The proposed architectural design maintains a low-density built form of the site, with one dwelling facing the street frontage. This dwelling has an active frontage with an outdoor area facing the street. The site is already well connected to the walking and cycling networks.

Public realm

1. High-quality public spaces are created that optimise opportunities for community interaction.

Prevention of crime and antisocial behaviour

1. The design of development assists in preventing antisocial behaviour and supporting personal safety.

Applicant Response - Complies. The proposal has created an active frontage with the front dwelling having an outdoor area with visibility to the street for active surveillance.

Low Density Residential Zone Code – Responses to Zone code purpose outcomes-

Purpose

1. The purpose of the Low-density residential zone code is to provide for predominately dwelling houses.
2. The particular purpose of the code is to:
 - a) primarily accommodate dwelling houses and dual occupancy dwellings;
 - b) provide for housing choice and affordability by allowing for a range of lot sizes;
 - c) maintain the low-rise and lower density character of Townsville's suburbs;
 - d) maintain a high level of residential amenity; and
 - e) achieve accessible, well-serviced and well-designed communities.

1. The purpose of the zone will be achieved through the following overall outcomes:

a) Built form is of a house compatible scale and consistent with the local streetscape character;

Applicant Response- The built form of Anne Street is considered mixed, with a low set and high set dwellings, dual occupancies. Also, sites with a streetscape and yield which is consistent with multiple dwellings. Also, a mixture of roof forms. The proposed developments built form is consistent with this and the zone code, not exceeding two (2) storeys in height and not exceeding 8.5m in height.

b) Reconfiguration facilitates a range of lot sizes to accommodate dwelling houses and dual occupancy dwellings, typically on lots 400m² or greater (unless otherwise intended in a precinct);

Applicant Response- A reconfiguration of a lot isn't proposed; However, the proposed built form can facilitate future compliant subdivision via: standard, building format, or, via high density development easement.

c) Development maintains a high level of residential amenity on the site and in the neighbourhood;

Applicant Response- The proposed design will result in a high level of residential amenity to residents of the site and the neighbourhood. The design places private open spaces on the ground floor, smaller windows on the first floor and screening to reduce perceived overlooking into neighbouring lots. This results in no loss of residential amenity.

d) Residential development is protected from the impacts of any nearby industrial activities, transport corridors, infrastructure, installations and major facilities such as the port, airport and Department of Defence landholdings;

Applicant Response- Not applicable.

e) The design of development promotes accessibility by walking, cycling and public transport;

Applicant Response- The proposed development is located to facilitate active forms of transport, being located within walking and cycling distance to major attractors.

f) The design of development is responsive to the city's climate and promotes sustainable practices including energy efficiency and water conservation;

Applicant Response- The proposed development is a climate responsive design, featuring eaves, window screening. The site also proposes areas of landscaping which can develop to provide shading to the built form and reduce heat loading.

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- g) *Low-rise multiple dwellings, residential care or retirement facilities may be acceptable within this zone where provided in locations that are within a convenient walkable distance to centres, public transport and community activities, and where of a scale that is consistent with the local character;*

Applicant Response- The proposed development is wholly consistent with this outcome. The site is located within walking and cycling distance to centres, public transport and community activities. The built form is also of a scale that isn't inconsistent with the mixed streetscape and outcomes sought in the zone and development codes.

- h) *Non-residential uses only occur within the zone where they primarily support the day-to-day needs of the immediate residential community, do not unreasonably detract from the residential amenity of the area and are not better located in nearby centre zones;*

Applicant Response- Not applicable.

- i) *Development minimises impacts on remaining areas of ecological significance within the zone; and*

Applicant Response- Not applicable.

- j) *The natural bushland setting and village character of the northern beaches and Magnetic Island townships are maintained. Tourism accommodation in these communities is of a house compatible scale.*

Applicant Response- Not applicable.

Low Density Residential Zone Code-

Performance outcomes	Acceptable outcomes	Response
For accepted development subject to requirements and assessable development		
Home Based Business – Not applicable		
Sales office – Not applicable		
Secondary Dwelling – Not applicable		
Additional benchmarks for accepted development subject to requirements and assessable development in precincts – Not applicable. Subject site is not within a precinct.		
For assessable development		
Amenity		
PO10 Development minimises impacts on surrounding land and provides for an appropriate level of amenity within the site, having regard to: <ul style="list-style-type: none"> a) noise; b) hours of operation; c) traffic; d) visual impact; e) odour and emissions; 	No acceptable outcome is nominated.	Complies PO10. The proposal is for a low-rise multiple dwelling the proposed development has been designed to provide an appropriate amenity for the residents and adjoining dwellings. Windows along the northern elevation are to feature frosting to reduce potential overlooking. Its noted that the adjoining site is low rise and

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Performance outcomes	Acceptable outcomes	Response
<ul style="list-style-type: none"> f) lighting; g) access to sunlight; h) privacy; and i) outlook. 		amenity impacts from overlooking will be minimal.
PO11 Landscaping is provided to enhance the appearance of the development, screen unsightly components, create an attractive on-site environment and provide shading.	No acceptable outcome is nominated.	Complies PO11. Boundary landscaping is incorporated into the design in areas as shown on the Site Layout Ground Plan A101.
PO12 Development for the purposes of a sensitive use within 500m of land included in the High impact industry zone or Special purpose zone, or within 250m of land in the Medium impact industry zone: <ul style="list-style-type: none"> a) achieves indoor noise levels consistent with the objectives set out in the Environmental Protection (Noise) Policy 2008; b) achieves air quality levels consistent with the objectives set out in the Environmental Protection (Air) Policy 2008 and the relevant national standard; and c) does not experience offensive odours. 	No acceptable outcome is nominated.	Not applicable.
For assessable development		
Crime prevention through environmental design		
PO13 Development facilitates the security of people and property having regard to: <ul style="list-style-type: none"> a) opportunities for casual surveillance and sight lines; b) exterior building design that promotes safety; c) adequate lighting; d) appropriate signage and wayfinding; 	No acceptable outcome is nominated.	Complies PO13. The proposed design allows active surveillance of the streetscape from the front dwelling. As well as a permeable front fence.

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Performance outcomes	Acceptable outcomes	Response
e) minimisation of entrapment locations; and f) building entrances, loading and storage areas that are well lit and lockable after hours.		
General		
PO14 Development minimises impacts on remaining areas of ecological significance within the zone.	No acceptable outcome is nominated.	Complies PO14. The site does not contain any areas of ecological significance.
PO15 On elevated or steeply sloping sites: <ul style="list-style-type: none"> a) development is sympathetic to the natural landform through the use of terraced or split level building forms; b) the understoreys of buildings are screened to maintain the quality of views from public vantage points below; and c) buildings avoid highly reflective finishes. 	No acceptable outcome is nominated.	Not applicable. The site is not elevated or sloping.
Parking and servicing		
PO16 Parking facilities are located to be concealed from public view to ensure an attractive streetscape	AO16 Vehicle parking structures are located: <ul style="list-style-type: none"> a) behind the building setback; or b) behind the building; or c) at basement level. 	Complies AO16. The parking areas are not located on the frontage of the property.
PO17 Waste disposal and servicing areas are screened from public view and do not have adverse amenity impacts on adjoining properties.	No acceptable outcome is nominated.	Complies PO17. The bin storage is proposed to be located in a dedicated structure located towards the frontage of the site, opening onto the driveway behind the screened sliding security gate.
For assessable development — where a non-residential or tourist accommodation use —		
N/A		

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Performance outcomes	Acceptable outcomes	Response
For assessable development – where a multiple dwelling, residential care facility or retirement facility development		
Location		
PO21 Multiple dwelling, residential care facility or retirement facility development occur only in locations where: <ul style="list-style-type: none"> a) they can be designed to be compatible with local character and low density scale of development; b) having convenient walkable access to the city's network of centres; c) having convenient walkable access to public transport; and d) having convenient walkable access to recreational facilities. 	AO21 The premises: <ul style="list-style-type: none"> a) is located within 400m of a centre zone or public transport stop on a major road; b) has a minimum site area of 1,000m² and 20m frontage where for a multiple dwelling; c) has a minimum site area of 3,000m² and 20m frontage where for a residential care facility or retirement facility; and d) is located within 400m of a park. 	Partial compliance AO21 - <ul style="list-style-type: none"> a) Complies PO21 (b)- The site is located approximately 1 kilometer or 10 minutes' walk to the nearest major road which is a convenient walking distance. b) Complies AO21 (b)- The subject site has a site area of 1012m² and a frontage of 20 metres. c) Not applicable. d) Complies AO21 (d)- The site is located within 500m of two large parks.
PO22 Buildings are low-rise and of a house compatible scale.	AO22 Building design achieves: <ul style="list-style-type: none"> a) a site cover that does not exceed 65% of site area; b) a building height that does not exceed 2 storeys and 8.5m if it is within 10m of a site boundary, and 3 storeys if it is 10m or more from a site boundary; and c) the maximum length of any wall is 12m. 	Complies AO22 <ul style="list-style-type: none"> a) Complies. The site coverage is less than 54% b) Complies. The dwellings do not exceed 2 storeys. c) Complies. No wall exceeds 12 metres in length.
PO23 Building setbacks and landscaping: <ul style="list-style-type: none"> a) create an attractive, consistent and cohesive streetscape; b) maintain appropriate levels of light and solar penetration, air circulation, privacy and amenity for existing and future buildings; and 	AO23.1 Buildings are set back from street frontages: <ul style="list-style-type: none"> a) within 20% of the average front setback of adjoining buildings; or b) where there are no adjoining buildings, 3m. <p>Figure 6.5 – Appropriate front setbacks illustrates.</p>	Partial Compliance AO32.1 – <p>The average front setback of the two adjoining sites (lot 1 and lot 7) is 5.34m.</p> <p>The front setback of the main bulk of the unit fronting the street is compliant at setback 6m.</p>

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Performance outcomes	Acceptable outcomes	Response
c) do not prejudice the development or amenity of adjoining sites.		<p>The OMP of the Verandah is 3.5m from the front boundary.</p> <p>Its considered that this provides ample light and solar penetration and circulation on the site and adjoining sites.</p> <p>Whilst maintaining front setbacks consistent with the streetscape amenity. Whilst also introducing an attractive and active frontage</p> <p>Current Setback – 9.107m Adjoining lot 1 – 4.21m Adjoining lot 7 – 9.14m Adjoining lot 8 – ~5.5m</p>
	<p>AO23.2 A landscape area with a minimum dimension of 1m is provided along the full frontage of any road frontage (excluding crossover and pedestrian access only).</p> <p>Figure 6.6 – Appropriate front and rear setbacks illustrates.</p>	<p>Complies AO23.2. Landscaping area of 1.5 metres is provided along the full frontage of the road with the boundary fence proposed behind the landscaping.</p>
	<p>AO23.4 The rear boundary setback is a minimum of 6m. Figure 6.6 - Appropriate front and rear setbacks illustrates.</p>	<p>Complies PO23. 1.68 metres of setback is provided to the rear boundary. This is for a length of 9 metres of the main building of the rear unit. The proposed rear unit has been designed to minimise overlooking into the rear adjoining allotment with only one small window that can be screened. This reduces the potential for overlooking into the adjoining allotment with approximately 4.2 metres of setback overall to the closest adjoining dwelling. Rear landscaping will also provide screening and softening of the façade.</p>

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Performance outcomes	Acceptable outcomes	Response
PO24 Built to boundary walls do not impact on the amenity or privacy of adjoining premises.	AO24 Built to boundary walls: <ul style="list-style-type: none"> a) are for non-habitable rooms or spaces only; b) are not located within the front or rear setback; c) are not located within 1.5m of a habitable room or house on an adjoining lot; d) have a maximum height of 3m; and e) have a maximum length of 9m. 	Partial Compliance - Built to boundary walls are proposed only for proposed non-habitable storage areas. <ul style="list-style-type: none"> a) Complies AO24 (a) is only proposed for non-habitable storage areas. b) Complies AO24 (b) - located along the side boundary. c) Partial compliance AO24(c) – The setbacks of the units on the lot to the north range from 900mm to 1.5m. This provides ample light and ventilation, and no amenity impacts or overlooking opportunities as they are non-habitable encroachments. d) Complies – PO24 - The height of each wall is 3.5m. e) AO24 (e) The length of each storage area is less than 9 metres, being 3.2m, combined along the side boundary of 6.2m.
PO25 Buildings are designed to achieve good solar access by: <ul style="list-style-type: none"> a) minimising the extent of shadows on usable private open space or public spaces; and b) providing adequate sunlight to habitable rooms 	No acceptable outcome is nominated.	Complies PO25. The proposal is architecturally designed and provides sufficient solar access to all buildings on the allotment.
PO26 Design elements contribute to an interesting and attractive streetscape and building through: <ul style="list-style-type: none"> a) the provision of projections and recesses in the façade which reflect 	No acceptable outcome is nominated.	Complies PO26. The proposal is architecturally designed and has a varied and interesting façade on all boundaries, with no long walls or continuous eaves, providing an interesting façade to the streetscape and the appearance of

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Performance outcomes	Acceptable outcomes	Response
<p>changes in internal functions of buildings, including circulation;</p> <p>b) variations in material and building form;</p> <p>c) modulation in the façade, horizontally or vertically;</p> <p>d) articulation of building entrances and openings;</p> <p>e) corner treatments to address both street frontages;</p> <p>f) elements which assist in wayfinding and legibility; and</p> <p>g) elements which relate to the context including surrounding buildings, parks, streets and open spaces.</p>		low-density housing. Whist incorporating landscaping.
<p>PO27 Roof form assists in reducing the appearance of building bulk by:</p> <p>a) articulating individual dwellings; and</p> <p>b) incorporating variety in design through use of roof pitch, height, gables and skillions.</p>	No acceptable outcome is nominated.	Complies PO27. The proposal has varied roof forms.
<p>PO28 Development promotes the safety of residents and visitors, particularly through casual surveillance of the street and public spaces.</p>	<p>AO28.1 Buildings are designed to have balconies, windows and building openings overlooking streets and other public spaces. Figure 6.8 – Design for casual surveillance illustrates.</p>	Complies AO28.1. The proposal has external habitable areas (veranda) facing the street.
	<p>AO28.2 Fences or walls along a street frontage have a maximum height of 1.2m where solid, or 1.8m where that portion of the fence above 1.2m high is at least 50% transparent.</p>	Complies AO28.2 – Can comply, it's also noted that the frontage fence is also proposed to be behind a 1.5m wide area of landscaping.
<p>PO29 Development provides private</p>	<p>AO29.1 For a ground floor dwelling (where a multiple dwelling), ground floor</p>	Complies AO29.1 and 29.2.

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Performance outcomes	Acceptable outcomes	Response
<p>open space that is:</p> <ul style="list-style-type: none"> a) well-proportioned, appealing, functional and easily accessible, and promotes outdoor living as an extension of the dwelling; b) provides a high level of privacy for residents and neighbours; and c) has sufficient size and shape to meet the needs of a diversity of potential residents. 	<p>private open space is provided with:</p> <ul style="list-style-type: none"> a) a minimum area of 35m²; b) a minimum dimension of 3m; and c) clear of any utilities such as gas, water tanks or air-conditioning units. 	Each dwelling is provided with sufficient open space with the minimum being 22.5m ² for units 2 and 3, with an additional screened Juliette balconies provided on the first-floor.
	<p>AO29.2 For a dwelling above ground storey, private open space is provided as a balcony with:</p> <ul style="list-style-type: none"> a) a minimum area of 9m² for a 1 bedroom unit or 16m² for a 2 or more bedroom unit; b) a minimum dimension of 3m; and c) clear of any utilities such as air conditioning units or drying space. 	As above.
	<p>AO29.3 Where clothes drying areas are provided on private balconies they are screened from public view and do not take up more than 10% of the balcony area.</p>	Complies AO29.3. Each dwelling has sufficient space for clothes drying area.
	<p>AO29.4 Private open space is located or screened so it does not directly overlook main living areas or private open space of adjoining dwellings. Where screening is used, it is at least 50% translucent.</p>	Complies AO29.4. Ground level Private open spaces will be benefited by a 2m high solid fence to an adjoining lot, resulting in no overlooking. The first floor Juliette balconies are proposed to be screened with 50 permeable solution.
<p>PO30 Sufficient communal open space is provided to create flexible spaces suitable for a range of activities</p>	No acceptable outcome is nominated.	Not applicable. No communal open space is proposed. The proposal is only for 4 dwellings that each have significant areas of private open space of suitable size and dimension. It's considered that the allotment is also less than 500m to large areas of high quality public open areas.

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Performance outcomes	Acceptable outcomes	Response
PO31 Communal open space provides facilities including seating, landscaping and shade. Treatments such as green roofs, green walls or community gardens contribute to the attractiveness of these spaces.	No acceptable outcome is nominated.	Not applicable, see above.
PO32 Air conditioning units are insulated so that adjoining properties are not affected by the noise source, and are not significantly visible from the street.	No acceptable outcome is nominated.	Conditioned to comply.
Additional benchmarks for assessable development in precincts – Not applicable		

Flood Hazard Overlay

Performance outcomes	Acceptable outcomes	Response
For accepted development subject to requirements		
PO1 Development in medium and high hazard areas is designed and located to minimise susceptibility to and potential impacts of flooding.	AO1.1 Where the development is located within an area shown on overlay map OM-06.1 or 06.2 as medium hazard — further investigation area, new buildings containing habitable rooms: <ul style="list-style-type: none"> a) are sited on a part of the site which is outside the medium hazard — further investigation area; or b) are sited on the highest part of the site. OR AO1.2 Where development is located within another hazard area shown on overlay map OM-06.1 or 06.2: <ul style="list-style-type: none"> a) floor levels of all habitable rooms are a minimum of 300mm above the defined flood level; b) floor levels of all non-habitable rooms (other than class 10 buildings) are above the defined flood event; c) parking spaces associated with non-residential development are located outside the high hazard areas identified on overlay map OM-06.1 or 06.2; and d) underground parking is designed to prevent the intrusion of flood waters by the incorporation of a bund or similar barrier with a minimum height of 300mm above the defined flood level. 	Complies AO1.2. All ground floor levels will be above the defined flood level of the area (10.26m AHD as specified by the new flood modelling), with a FFL of 10.56mm AHD.

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Performance outcomes	Acceptable outcomes	Response
PO2 Development in high hazard areas does not significantly impede the flow of flood waters through the site or worsen flood flows external to the site.	AO2.1 Development in high hazard areas do not involve: <ul style="list-style-type: none"> a) filling with a height greater than 150mm; or b) block or solid walls or solid fences; or c) garden beds or other structures with a height more than 150mm; or d) the planting of dense shrub hedges. 	Not applicable. Not within a high hazard area.
For assessable development		
PO3 Development does not intensify use in high hazard areas, in order to avoid risks to people and property.	AO3.1 New buildings are located outside high hazard areas identified on overlay map OM-06.1 or 06.2 .	Complies PO3. The allotments are partially located within the high hazard area. The dwellings have been designed to comply with the minimum floor level requirements and do not present an adverse intensification to the safety of people or property.
	AO3.2 New lots or roads are not created within high hazard areas identified on overlay map OM-06.1 or 06.2.	Not applicable. Proposal does not include the reconfiguration of a lot.
	AO3.3 Sites for non-permanent accommodation such as tents, cabins or caravans (whether intended for short or long-term accommodation) are located outside the high hazard areas identified on overlay map OM-06.1 or 06.2.	Not applicable.
PO4 Siting and layout of development maintains the safety of people and property in medium hazard areas.	On existing lots AO4.1 Floor levels for residential buildings are 300mm above the defined flood level	Complies AO1.2. All ground floor levels will be above the defined flood level of the area (3.7m AHD as specified by Council Officers, email attached), with a FFL of 4 metres AHD.
	AO4.2 Floor levels of non-residential buildings (other than class 10 buildings) are above the defined flood level.	Not applicable.

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Performance outcomes	Acceptable outcomes	Response
	AO4.3 Underground parking is designed to prevent the intrusion of flood waters by the incorporation of a bund or similar barrier with a minimum height of 300mm above the defined flood level.	Not applicable. Underground parking is not proposed.
	AO4.4 Development for non-permanent accommodation such as tents, cabins or caravans (whether intended for short or long-term accommodation) are located outside the medium hazard areas identified on overlay map OM-06.1 or 06.2 .	Not applicable.
	AO4.5 – AO4.7	Not applicable. Proposal does not include the reconfiguration of a lot.
PO5 Signage is provided within high and medium hazard areas to alert residents and visitors to the flood hazard.	AO5 Signage is provided on-site (regardless of whether land will be public or private ownership) to indicate depth at key hazard points, such as at floodway crossings, entrances to low-lying reserves or parking areas.	Not applicable.
PO6 Development within high and medium hazard areas ensures any changes to the depth, duration, velocity of flood waters are contained within the site.	No acceptable outcome is nominated.	Complies PO6. The proposed development does not pose and adverse change in the profile of land or changes to the flood characteristics of the area.
PO7 Development within high and medium hazard areas does not directly, indirectly or cumulatively worsen flood characteristics outside the development site, having regard to: a) increased scour and erosion; or b) loss of flood storage; or c) loss of or changes to flow paths; or d) flow acceleration or retardation; or e) reduction in flood warning times.	No acceptable outcome is nominated.	Complies PO7. The proposed development does not pose and adverse change in the profile of land or changes to the flood characteristics of the area.

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Performance outcomes	Acceptable outcomes	Response
PO8 Facilities with a role in emergency management and vulnerable community services are able to function effectively during and immediately after flood events.	AO8 The development is provided with the level of flood immunity set out in Table 8.2.6.3(b).	Not applicable.
PO9 Public safety and the environment are not adversely affected by the detrimental impacts of flooding on hazardous materials manufactured or stored in bulk.	AO9.1 Development does not involve the manufacture or storage of hazardous materials within a high flood hazard area identified on overlay map OM-06.1 or 06.2.	Not applicable.
	AO9.2 Within the low or medium flood hazard area identified on overlay map OM-06.1 or 06.2, structures used for the manufacture or storage of hazardous materials in bulk are designed to prevent the intrusion of flood waters up to at least a 0.2% AEP flood event.	Not applicable.

Works Code

Performance Outcomes	Acceptable Outcomes	Applicant Response
For accepted development subject to requirements		
Access and parking		
PO1 Access arrangements are appropriate for: <ul style="list-style-type: none"> a) the capacity of the parking area; b) the volume, frequency and type of vehicle usage; and c) the function and characteristics of the access road and adjoining road network. 	AO1 Access is provided in accordance with Australian Standard AS2890.1.	Complies AO1. One access will be provided in line with the appropriate standards.
PO2 Provision is made for on-site vehicle parking to meet the demand likely to be generated by	AO2.1 Parking is provided at the rates set out in Parking rates planning scheme policy no. SC6.10.	Complies AO2.1. Two parking spaces are provided for each dwelling and 2 visitor parking

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Performance Outcomes	Acceptable Outcomes	Applicant Response
the development and to avoid on street parking where that would adversely impact on the safety or capacity of the road network or unduly impact on local amenity.	OR AO2.2 Where an existing lawful premises and involves not more than 5% or 50m ² (whichever is the greater) of additional gross floor area, the existing number of on-site parking is retained or increased.	spaces provided on the allotment.
PO3 Parking areas are designed to: a) be clearly defined, marked and signed; b) be convenient and accessible; c) be safe for vehicles, pedestrians and cyclists; and d) provide spaces which meet the needs of people with disabilities.	AO3.1 Parking areas are designed in accordance with Australian Standard AS2890.1. OR AO3.2 Where an existing lawful premises and involves not more than 5% or 50m ² (whichever is the greater) of additional gross floor area, the existing standard of on-site parking is maintained or improved.	Complies AO3.1. Areas will comply with the relevant standards.
PO4 Landscaping is provided to soften the visual impact of parking areas and to provide shading.	AO4.1 Shade trees within parking areas are provided at the following rate: a) in single sided, angle or parallel bays - 1 tree per 3 parking spaces; and b) in double sided, angle or parallel bays - 1 tree per 6 parking spaces. Editor's note —The Development manual planning scheme policy no. SC6.4 - SC6.4.12 Landscaping and Open Space sets out guidance on tree species and planting standards. OR AO4.2 Where an existing lawful premises and involves not more than 5% or 50m ² (whichever is the greater) of additional gross floor area, the existing standard of landscaping is maintained or improved.	Complies AO4.1. Landscaping to be provided as specified in the landscaping code.

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Performance Outcomes	Acceptable Outcomes	Applicant Response
PO5 Provision is made for the onsite loading, unloading, manoeuvring and access by service vehicles that: <ul style="list-style-type: none"> a) is adequate to meet the demands generated by the development; b) is able to accommodate the design service vehicle requirements; c) is wholly contained within the site; and d) does not unduly impede vehicular, cyclist and pedestrian safety and convenience within the site. 	AO5.1 Servicing areas are provided and designed in accordance with Australian Standard AS2890.2. OR AO5.2 Where an existing lawful premises and involves not more than 5% or 50m ² (whichever is the greater) of additional gross floor area, the existing provision for service vehicles is maintained or improved.	Not applicable.
Services and utilities – as the development is assessable development refer to assessment against PO11 onwards		
Assessable development-Services and utilities		
Services and utilities		
PO11 A potable water supply is provided that is adequate for the needs of the intended use.	AO11.1 Where within an area designated for urban or rural residential development, the development is connected to council's reticulated water supply system in accordance with the Development manual planning scheme policy no. SC6.4 - SC6.4.11.2 Water Supply Planning and Design Guidelines . OR AO11.2 Otherwise, the development is provided with an on-site water supply in accordance with the Development manual planning scheme policy no. SC6.4 - SC6.4.11.7 On-Site Water Supply .	Complies AO11.1. The premises is connected to the reticulated water system.
	AO11.3 Water supply systems and	Complies AO11.3. Existing connection to be utilised.

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Performance Outcomes	Acceptable Outcomes	Applicant Response
	connections are designed and constructed in accordance with the Development manual planning scheme policy no. SC6.4 - SC6.4.11.2 Water Supply Planning and Design Guidelines, SC6.4.11.3 Water Supply Construction and SC6.4.3 Standard Drawings .	
PO12 Wastewater treatment and disposal is provided that is appropriate for the level of demand generated, protects public health and avoids adverse impacts on environmental values.	AO12.1 Where within an area designated for urban development, the development is connected to the council's reticulated sewerage system in accordance with the Development manual planning scheme policy no. SC6.4 - SC6.4.11.2 Water Supply Planning and Design Guidelines. OR AO12.2 Otherwise, on-site waste water treatment and disposal is provided which complies with the Development manual planning scheme policy no. SC6.4 - SC6.4.11.8 On-Site Sewerage Facilities .	Complies AO12.1. The premises is connected to the reticulated sewer system.
	AO12.3 Waste water systems and connections are designed and constructed in accordance with the Development manual planning scheme policy no. SC6.4- SC6.4.11.2 Water Supply Planning and Design Guidelines, SC6.4.11.3 Water and Sewerage Infrastructure, SC6.4.11.5 Sewerage System Constructions and SC6.4.3 Standard Drawings.	Complies AO12.3. Existing connection to be utilised.
PO13 The design and management of the development integrates water cycle elements having regard to: a) reducing potable water demand;	AO13 Integrated water management practices and infrastructure are implemented in accordance with Development manual planning scheme policy no. SC6.4 - SC6.4.10 Stormwater Quality and SC6.4.10.2 Water Sensitive Urban Design .	Complies AO13. Water supply and management is as per residential standards.

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Performance Outcomes	Acceptable Outcomes	Applicant Response
<ul style="list-style-type: none"> b) minimising wastewater production; c) minimising stormwater peak discharges and run-off volumes; d) maintaining natural drainage lines and hydrological regimes as far as possible; e) reusing stormwater and greywater is encouraged where public safety and amenity will not be compromised; and f) efficient use of water. 		
PO14 The development is provided with an adequate energy supply which maintains acceptable standards of public health, safety, environmental quality and amenity	AO14 For other than the Rural zone, premises are serviced by: <ul style="list-style-type: none"> a) an underground electricity supply approved by the relevant energy authority; or b) an overhead supply approved by the relevant energy authority where in the Rural residential zone, Special purpose zone or High impact industry zone or where on a lot of less than 2,500m² within an area where the existing supply is overhead. Editor's note —Applicants should also have regard to the Development manual planning scheme policy no. SC6.4 - SC6.4.14.2 Public Lighting (Urban, Urban Residential and Rural) and SC6.4.14.3 Utility Services .	Complies PO14. The development will be provided with an adequate energy supply which maintains acceptable standards of public health, safety, environmental quality and amenity The site is currently connected to the electricity network via an overhead connection. Ergon, will determine the method of connection to the proposed development. This may be as per other recent development on the street via an overhead connection or underground conneciton.
PO15 Premises are connected to	AO15 The development is connected	Complies AO15. The site is connected to

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Performance Outcomes	Acceptable Outcomes	Applicant Response
a telecommunications service approved by the relevant authority.	to telecommunications infrastructure in accordance with the standards of the relevant regulatory authority. Editor's note —The Development manual planning scheme policy no. SC6.4 - SC6.4.14.2 Public Lighting (Urban, Urban Residential and Rural) and SC6.4.14.3 Utility Services provides additional information regarding the supply of telecommunications.	telecommunications services. The proposed development will comply.
PO16 Provision is made for future telecommunications services (for example fibre optic cable).	No acceptable outcome is nominated.	Can comply.
PO17 Where available, provision is made for reticulated gas.	AO17 Design and provision of reticulated gas is undertaken in accordance with the Development manual planning scheme policy no. SC6.4 - SC6.4.14.2 Public Lighting (Urban, Urban Residential and Rural) and SC6.4.14.3 Utility Services. Editor's note —Applicants should also have regard to the metering requirements of other relevant authorities.	Not applicable.
PO18 Adequate access is provided to public services and utilities for future maintenance.	No acceptable outcome is nominated. Editor's note —The Development manual planning scheme policy no. SC6.4 provides additional information and requirements for applicants, including when council will require easements over public services and utilities.	Can comply.
Earthworks - Complies No significant earthworks, excavation or filling is proposed or require for this proposal. All works will be undertaken in accordance with the Development manual planning scheme policy no. SC6.4 - SC6.4.7.3 Earthworks Design and SC6.4.7.4 Earthworks Construction.		
Movement networks		
PO29 The following are provided along the full extent of the road frontage and to a standard that is appropriate to the function of the	AO29 Design and construction of external road works are undertaken in accordance with the Development manual planning scheme policy no.	Not applicable. No external road works are required or proposed to facilitate the proposed development.

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Performance Outcomes	Acceptable Outcomes	Applicant Response
<p>road or street and the character of the locality:</p> <ul style="list-style-type: none"> a) paved roadway; b) appropriate pavement edging (including kerb and channel); c) pedestrian paths and cycleways; d) streetscaping and street tree planting; e) stormwater drainage; f) street lighting systems; and g) conduits to facilitate the provision of and other utility services. 	<p>SC6.4.</p> <p>Editor's note—Applicants should have regard to the following sub-sections of the Development manual planning scheme policy no. SC6.4 - SC6.4.14.2 Public Lighting (Urban, Urban Residential and Rural); SC6.4.14.3 Utility Services; SC6.4.8 Stormwater Management; SC6.4.9 Stormwater Quantity; SC6.4.10 Stormwater Quality; SC6.4.6.2 Pavement Design & Seal Design; SC6.4.4 Active Transport Infrastructure; SC6.4.12 Landscaping and Open Space; SC6.4.6.1 Geometric Road Design; SC6.4.20.1 Footpath Treatment Policy; and SC6.4.23 Construction Management, Quality Management, Inspection and Testing.</p>	
<p>PO30</p> <p>Provision is made in the road reserve for streetscaping, pedestrians and cyclists in a manner consistent with:</p> <ul style="list-style-type: none"> a) the current and projected level of usage; b) the desired streetscape character; and c) activities which are anticipated to occur within the verge. 	<p>AO30</p> <p>Streetscaping works, footpaths and cycle paths are provided in accordance with Development manual planning scheme policy no. SC6.4.</p> <p>Editor's note—Applicants should have regard to the following sub-sections of the Development manual planning scheme policy no. SC6.4 - SC6.4.20.1 Footpath Treatment Policy; SC6.4.6.1 Geometric Road Design; SC6.4.5.1 Townsville Road Hierarchy; SC6.4.4 Active Transport Infrastructure; SC6.4.12 Landscaping and Open Space; SC6.4.14.2 Public Lighting (Urban, Urban Residential and Rural); and SC6.4.14.3 Utility Services in demonstrating compliance.</p>	<p>Not applicable. No external road works are required or proposed to facilitate the proposed development.</p>
<p>PO31</p> <p>Parking areas are designed and constructed in a manner that is sufficiently durable for the intended function, maintains all weather access and ensures the safe passage of vehicles, pedestrians and cyclists.</p>	<p>AO31</p> <p>Parking area design and construction is undertaken in accordance with the Development manual planning scheme policy no. SC6.4 — SC6.4.5.3 Public Transport Facilities and SC6.4.5.4 Car Parking.</p>	<p>Not applicable. Proposal is for residential standard only.</p>

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Performance Outcomes	Acceptable Outcomes	Applicant Response
	AO32 Infrastructure is provided in accordance with the Development manual planning scheme policy no. SC6.4 — SC6.4.6.1 Geometric Road Design , SC6.4.5.1 Townsville Road Hierarchy and SC6.4.5.2 Traffic Impact Assessment (TIA) .	Not applicable.
Waste management		
PO33 Development provides adequate waste management facilities on site for the storage of waste and recyclable material in a manner which: <ul style="list-style-type: none"> a) is of adequate size to accommodate the expected amount of refuse to be generated by the use; b) is in a position that is conveniently accessible for collection at all times; c) is able to be kept in a clean, safe and hygienic state at all times; and d) minimises the potential for environmental harm, environmental nuisance and adverse amenity impacts. 	AO33 Waste management facilities are provided in accordance with the Development manual planning scheme policy no. SC6.4 — SC6.4.22 Waste Management . Editor's note —Applicants may be requested to prepare a Waste management plan in accordance with the Development manual planning scheme policy no. SC6.4-SC6.4.22 Waste Management.	Complies AO33. Waste is managed as per residential standards. A screened structure is proposed to store refuse and recycling.
Construction management		
PO34 Work is undertaken in a manner which does not cause unacceptable impacts on surrounding areas as a result of dust, odour, noise or lighting.	No acceptable outcome is nominated. Editor's note —Applicants should refer to the Development manual planning scheme policy no. SC6.4 for assistance in complying with this outcome.	Complies PO34. Will comply with Development manual planning scheme policy no. SC6.4
PO35 While undertaking development works, the site and adjoining road are maintained in a tidy, safe and hygienic manner.	No acceptable outcome is nominated. Editor's note —Applicants should refer to the Development manual planning scheme policy no. SC6.4	Complies PO35. Will comply with Development manual planning scheme policy no. SC6.4

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Performance Outcomes	Acceptable Outcomes	Applicant Response
	for assistance in complying with this outcome.	
PO36 Traffic and parking generated during construction are managed to minimise impact on the amenity of the surrounding area.	No acceptable outcome is nominated. Editor's note—Applicants should refer to the Development manual planning scheme policy no.SC6.4 for assistance in complying with this outcome.	Complies PO35. Will comply with Development manual planning scheme policy no.SC6.4
PO37 Council's infrastructure is not damaged by construction activities.	No acceptable outcome is nominated. Editor's note—Applicants should refer to the Development manual planning scheme policy no.SC6.4 for assistance in complying with this outcome.	Can comply.
PO38 The integrity of new infrastructure is maintained.	No acceptable outcome is nominated. Editor's note—Applicants should refer to the Development manual planning scheme policy no.SC6.4 for assistance in complying with this outcome.	Can comply.
PO39 Construction activities and works are carried out in a manner which avoids damage to the environment, retained vegetation and impacts on fauna.	AO39 Construction activities and works are undertaken in accordance with the Development manual planning scheme policy no. SC6.4 - SC6.4.23.1 Construction Management .	Can comply.
PO40 Vegetation cleared from a site is disposed of in a manner that maximises reuse and recycling and minimises impacts on public health and safety.	AO40 Construction activities and works are carried out in accordance with Development manual planning scheme policy no. SC6.4 - SC6.4.7.1 Clearing and Grubbing . Editor's note—Applicants shall also refer to Development manual planning scheme policy no. SC6.4 for assistance in complying with this outcome.	Can comply.

Landscape Code

Performance outcomes	Acceptable outcomes	Response
Landscape design and character		
PO1 The overall landscape design of both public and private spaces: <ul style="list-style-type: none"> a) creates a sense of place that is consistent with the intended character of the streetscape, city or locality; and b) is functional and designed to be visually appealing in the long-term as well as when first constructed. 	AO1 When the development is in an identified locality in the Development manual planning scheme policy no. SC6.4 - SC6.4.12 Landscaping and Open Space , landscape design is in accordance with the requirements for that area. Otherwise, no acceptable outcome is nominated	Complies AO1. Proposal provides sufficient landscaping as per the planning scheme policy. See attached plans.
PO2 Tree and plant selection ensures: <ul style="list-style-type: none"> a) climatically appropriate landscaping; b) creation of a diverse palette: in form, texture and seasonal colour; c) longevity of plants and the form and function of landscaped areas; and d) cost effective and convenient maintenance over the long-term. 	AO2.1 Species are selected from those listed in the Development manual planning scheme policy no. SC6.4 - SC6.4.12 Landscaping and Open Space	Can comply.
	AO2.2 Plant species do not include undesirable species as listed in the Development manual planning scheme policy no. SC6.4 - SC6.4.12 Landscaping and Open Space.	Complies AO2.2. Undesirable species will not be utilised.
PO3 Where appropriate, provision is made for on-street planting that: <ul style="list-style-type: none"> a) complements the local streetscape; b) ensures visibility is maintained from entrances and exits to properties and at intersections; c) establishes healthy vegetation of suitable species; d) minimises the potential for vegetation to cause damage to persons, 	AO3 Street planting is provided that is consistent with the standards set out in the Development manual planning scheme policy no. SC6.4 - SC6.4.12 Landscaping and Open Space.	Can comply.

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Performance outcomes	Acceptable outcomes	Response
property or infrastructure; and e) does not limit or hinder pedestrian or vehicular flow and movement.		
PO4 Streetscape treatments and paving form a functional and attractive component of the overall landscape scheme.	AO4.1 All general streetscape elements are provided in accordance with the standards set out in the Development manual planning scheme policy no. SC6.4 - SC6.4.12 Landscaping and Open Space.	Can comply.
	AO4.2 Streetscape pavements are provided in accordance with the standards set out in the Development manual planning scheme policy no. SC6.4 - SC6.4.12 Landscaping and Open Space.	Can comply.
	AO4.3 Streetscape furniture is provided in accordance with the standards set out in the Development manual planning scheme policy no. SC6.4 - SC6.4.12 Landscaping and Open Space.	Not applicable.
PO5 Landscaping within on-site open space areas is well-designed, having regard to its purpose and the provision of shading, climatic response, and the proportion of soft and hard elements.	AO5.1 Selected tree species within communal recreation areas are to provide at least 30% shade coverage within 5 — 10 years of planting.	Not applicable. Development does not include communal recreational areas.
	AO5.2 A minimum of 50% of landscaped areas are to be covered in soft landscaping (turf areas and planting beds), with at least 25% of that area being planting.	Not applicable. Development does not include communal recreational areas.
PO6 Landscaping and embellishments in local recreational parks is fit for purpose and well-designed, having regard to shading, climatic response, and the proportion of soft and hard elements. Landscaping softens edges and creates an attractive interface with adjoining land.	AO6 Landscaping and embellishments are provided that are consistent with the standards set out in the Development manual planning scheme policy no. SC6.4 - SC6.4.12 Landscaping and Open Space.	Not applicable.

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Performance outcomes	Acceptable outcomes	Response
PO7 The use of hard surface treatments within private and public spaces do not detract from a high standard of amenity, and large unbroken areas of hardstand material is avoided.	AO7 Surface treatments are provided that are consistent with the standards set out in the Development manual planning scheme policy no. SC6.4 - SC6.4.12 Landscaping and Open Space	Complies AO7. Development provides a mixture of surface treatments.
Edge treatments		
PO8 Where provided, landscape design along site frontages is used to mitigate adverse aesthetic elements, provide privacy and reduce illumination impacts, while maintaining a safe environment for users.	AO8 Landscaped areas along the frontage of a site consists of: <ul style="list-style-type: none"> a) shade or rounded canopy trees that will provide a minimum of 50% shade to the frontage of the site within 5 years of planting; b) shrubs that provide screening to blank walls and privacy as required; and c) low shrubs and ground covers that reach a maximum height of 750mm at maturity. 	Complies AO8 – A 1.5m wide section of landscaping is proposed along the sites frontage. Landscaping will comply.
PO9 Where appropriate, acoustic barriers and long fences along road frontages and within the development are screened or softened by landscaping or architectural embellishment to improve visual amenity of the development.	No acceptable outcome is nominated.	Can comply.
PO10 Where provided, landscaping along a side or rear boundary assists in maintaining privacy, screening unsightly or service elements and enhancing the appearance of the development from nearby premises.	AO10.1 Screen planting is provided along the side or rear boundary of a site, which consists of: <ul style="list-style-type: none"> a) either trees with a maximum spacing of 3m (measured from centres) and capable of providing a dense screen within 3 years of planting or screening shrubs capable of growing to a height of 	Complies AO10.1.

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Performance outcomes	Acceptable outcomes	Response
	3m within 2 years of planting; and b) low shrubs and ground covers, where appropriate, to allow for complete covering of planting area.	
	AO10.2 A minimum of 25% of all trees are to grow above the height of the eaves of the equivalent second storey of the building.	Can comply.
PO11 Landscaped areas along or near retaining walls, long unbroken walls, service areas and parking areas consist of an appropriate combination and species of trees, shrubs and groundcovers to minimise the visual impact of these elements.	No acceptable outcome is nominated.	Can comply.
PO12 Screening trees, shrubs, low shrubs, ground covers and vertical accent plants are appropriate for the space available, orientation and functional requirements of the area.	No acceptable outcome is nominated.	Can comply.
Maintenance, drainage, utilities, services and construction		
PO13 Plant selection and location protects the integrity and function of overhead and underground services.	AO13 Plant selection and location complies with the Development manual planning scheme policy no. SC6.4 - SC6.4.12 Landscaping and Open Space .	Can comply.
PO14 Landscape elements do not adversely affect stormwater quantity or quality by ensuring: a) the flow of water along overland flow paths is not restricted; b) opportunities for water infiltration are maximised; and c) areas of pavement, turf and mulched garden beds are appropriately	No acceptable outcome is nominated.	Can comply.

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Performance outcomes	Acceptable outcomes	Response
located and adequately drained.		
PO15 Landscaping works, design and materials used minimise maintenance costs and whole of life cycle costs.	No acceptable outcome is nominated.	Can comply.
PO16 All turf areas on-site are accessible externally by standard lawn maintenance equipment and receive adequate sunlight for the turf species use	No acceptable outcome is nominated.	Can comply. All turfed areas are easily accessible.
PO17 Drainage of podium planters allows for flush out in future and are adequately drained.	No acceptable outcome is nominated.	Not applicable.
PO18 Irrigation is installed within private and public spaces to ensure the long-term viability and integrity of landscaped areas. Where provided, irrigation is designed to facilitate the efficient supply of water in accordance with micro-climatic conditions.	AO18 Irrigation is provided accordance with the Development manual planning scheme policy no. SC6.4 including - SC6.4.12 Landscaping and Open Space.	Can comply.
PO19 Limited on-site maintenance is achieved for private and public landscaping, by selecting plant species having regard to long life expectancy and minimal leaf litter drop, pruning, watering and fertilising requirements.	No acceptable outcome is nominated.	Can comply.
PO20 Container sizes and planting stock maturity is consistent with the intended role of the landscaping.	AO20 Landscaping is undertaken in accordance with the Development manual planning scheme policy no. SC6.4 - SC6.4.12 Landscaping and Open Space.	Can comply.
PO21 Planting stocks are of a quality to ensure vigorous growth.	AO21 Landscaping is undertaken in accordance with the Development manual planning scheme policy no. SC6.4 - SC6.4.12 Landscaping and Open Space and SC6.4.12.6	Can comply.

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Performance outcomes	Acceptable outcomes	Response
	Landscaping Construction Standards.	
PO22 Plants are protected and maintained to facilitate in-situ growth, vigour and quality form.	AO22 Landscaping is undertaken in accordance with the Development manual planning scheme policy no. SC6.4 - SC6.4.12 Landscaping and Open Space and SC6.4.12.6 Landscaping Construction Standards.	Can comply.
PO23 Site preparation works ensure a stable and enhanced landscape form.	AO23 Landscaping is undertaken in accordance with the Development manual planning scheme policy no. SC6.4 - SC6.4.12 Landscaping and Open Space and SC6.4.12.6 Landscaping Construction Standards.	Can comply.
Sustainability		
PO24 Wherever possible, landscape design facilitates the retention of significant existing vegetation, both within and external to the site	AO24.1 Site design integrates and incorporates retained and significant trees and vegetation within and external to the site	Can comply. Trees will be maintained where possible.
	AO24.2 Removed or damaged significant vegetation is replaced with mature vegetation of a comparable quantity and species.	Can comply. Trees will be maintained and replaced where possible.
PO25 Appropriate site planning and construction management is undertaken to ensure the longevity and health of retained and significant trees and vegetation.	AO25.1 Retained trees are protected by a tree protection zone (TPZ) and fenced along the canopy/drip line to comply with AS4970- 2009 Protection of Trees on Development Sites	Can comply.
	AO25.2 Any required pruning or trimming work is undertaken in accordance with AS4373 — Pruning of Amenity Trees and is carried out by a qualified arborist.	Can comply.
	AO25.3 Retained and significant vegetation damaged during development or construction is treated to repair any damage to	Can comply.

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Performance outcomes	Acceptable outcomes	Response
	the extent practicable by a qualified aborist.	
	AO25.4 Protective measures and practices are employed for work adjacent to trees in accordance with the Development manual planning scheme policy no. SC6.4 - SC6.4.23.1 Construction management.	Can comply.
PO26 Landscape design optimises water and energy efficiency and responds appropriately to local conditions, by: <ul style="list-style-type: none"> a) maximising the exposure to the prevailing summer breezes and the north-east winter morning sun; b) minimising exposure to the prevailing winter winds and western summer sun; and c) optimising shade to create useable and comfortable areas; d) hydro-zoning planting. 	No acceptable outcome is nominated.	Can comply.
PO27 Planting bed profiles and edging encourage plant viability, reduce erosion, control weed invasion, provide adequate water infiltration and ease of maintenance to support long-term plant viability and vigorous growth.	AO27 Planting beds are designed in accordance with the Development manual planning scheme policy no. 6.4 - SC6.4.12 Landscaping and Open Space.	Can comply.
PO28 Landscape buffering and species selection is consistent and compatible with any ecological values on or adjoining the site.	No acceptable outcome is nominated.	Can comply.
PO29 Landscaping elements are provided within parking areas, along driveways and internal roadways to provide adequate shading, and safe and legible parking areas.	AO29 Landscaping is provided in accordance with the Development manual planning scheme policy no. SC6.4 - SC6.4.12 Landscaping and Open Space.	Can comply.

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Performance outcomes	Acceptable outcomes	Response
Safety		
PO30 Landscape design enhances community safety and reduces the potential for crime and antisocial behaviour.	PO30 Landscape design enhances community safety and reduces the potential for crime and antisocial behaviour.	Can comply.
	AO30.2 Trees with a minimum 1.8m of clear trunk (at maturity) are located along pathways, at building entries, within parking areas, on street corners, adjacent to street lighting and along driveways. Garden beds within the aforementioned areas consist of low shrubs and groundcovers that do not exceed 750mm in height.	Can comply.
	AO30.3 Any solid wall or semi permeable fence is protected from graffiti through means of vertical landscaping or vandal resistant paint or artwork.	Not applicable.
PO31 Where appropriate and practicable, all elements of the landscape design are safe and provide accessibility for all abilities.	AO31.1 Paving material, tactile indicators and construction complies with AS1428 - Design for Access and Mobility.	Can comply where required.
	AO31.2 Pavement material or treatment clearly delineates between pedestrian and vehicular movement systems through contrasting materials, colours or level changes.	Can comply where required.
	AO31.3 Hard landscaping materials are not highly reflective, or likely to create glare, slipperiness or other hazardous conditions	Can comply.

Transport impact, access and parking code

Performance outcomes	Acceptable outcomes	Response
Transport impact		
PO1 The development is located on roads that are appropriate for the nature of traffic generated, having regard to the safety and efficiency of the transport network, and the functions and characteristics identified of the road hierarchy. The road hierarchy is shown on Figure 9.5 — Road hierarchy existing and Figure 9.6 Road Hierarchy Future	No acceptable outcome is nominated.	Complies PO1. The proposal is appropriately located with direct connections to high order roads.
PO2 Development does not compromise the orderly provision or upgrading of the transport network	No acceptable outcome is nominated.	Complies PO2. The proposal does not impede any planned upgrades.
PO3 On-site transport network infrastructure (including roads, parking, access and public transport, pedestrian and cyclist facilities) appropriately integrates and connects with surrounding networks.	No acceptable outcome is nominated.	Complies PO3. The access to the site will be to the appropriate standards.
PO4 As far as practicable, development is designed to encourage travel by public transport, walking and cycling.	No acceptable outcome is nominated.	Complies PO4. The site is located within 1 km of public transport options.
Site access		
PO5 Access arrangements are appropriate for: <ul style="list-style-type: none"> a) the capacity of the parking area; b) the volume, frequency and type of vehicle usage; c) the function and characteristics of the access road and adjoining road network; and 	A05 Access is provided in accordance with the standards identified in the Development manual planning scheme policy SC6.4 — SC6.4.5.5 Driveways , SC6.4.5.3 Public Transport Facilities and SC6.4.5.4 Car Parking .	Complies A05. The access is provided in accordance with the planning scheme policy.

114 Anne Street Aitkenvale

Performance outcomes	Acceptable outcomes	Response
d) the safety and efficiency of the road network.		
PO6 Where practical, access for cyclists and pedestrians is clearly distinguished from vehicle access	No acceptable outcome is nominated	Complies PO6. A pedestrian gate is provided.
PO7 Access is located and designed to provide safe and easy access to the site, having regard to its position, width and gradient.	AO7 Access is provided in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 — SC6.4.5.5 Driveways and SC6.4.3 Standard Drawings	Complies AO7. The access is provided in accordance with the planning scheme policy.
PO8 All vehicles reasonably expected to use the site are able to travel the length of the driveway or driveway access without damage to vehicle or the driveway surface.	AO8 Access is provided in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 — SC6.4.5.5 Driveways, SC6.4.5.3 Public Transport Facilities and SC6.4.5.4 Car Parking.	Complies AO8. The access is provided in accordance with the planning scheme policy.
PO9 A driveway does not cause change in the level of a footpath that is unsafe or inaccessible for people with mobility difficulties.	AO9 Access is provided in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 — SC6.4.5.5 Driveways and SC6.4.3 Standard Drawings	Complies AO9. The access is provided in accordance with the planning scheme policy.
PO10 Driveways are designed to withstand loadings from all vehicles reasonably expected to use the site.	AO10 Access is provided in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 — SC6.4.5.5 Driveways.	Complies AO10. The access is provided in accordance with the planning scheme policy.
PO11 A driveway does not allow water to pond on adjacent properties or adjacent buildings and does not allow water to enter a building or property.	PO11 A driveway does not allow water to pond on adjacent properties or adjacent buildings and does not allow water to enter a building or property.	Complies AO11. The driveway will not result in water ponding or run off.
PO12 Construction of a driveway does not damage or interfere with the location, function of or access to any services and infrastructure.	AO12 Access is provided in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 — SC6.4.5.5 Driveways, SC6.4.5.3 Public Transport Facilities,	Complies AO12. The access is provided in accordance with the planning scheme policy.

114 Anne Street Aitkenvale

Performance outcomes	Acceptable outcomes	Response
	SC6.4.5.4 Car Parking and SC6.4.3 Standard Drawings.	
PO13 All vehicles reasonably expected to access the site can safely manoeuvre to allow vehicles to exit and enter in a forward motion.	AO13 Access is provided in accordance with the standards identified in Development manual planning scheme policy no. SC6.4 - SC6.4.5.5 Driveways, SC6.4.5.3 Public Transport Facilities, SC6.4.5.4 Car Parking and SC6.4.3 Standard Drawings such that all vehicles reasonably expected to access the site, can exit and enter in a forward motion with no more than a three-point turn	Complies AO13. All vehicles will be able to enter and leave in forward gear.
Pedestrian and cyclist facilities – General statement -		
Parking		
PO17 Provision is made for on-site vehicle parking to: <ul style="list-style-type: none"> a) meet the demand likely to be generated by the development; and b) avoid on street parking that would adversely impact on the safety or capacity of the road network or unduly impact on local amenity. 	AO17 Parking is provided in accordance with the standards identified in Parking rates planning scheme policy no. SC6.10 .	Complies AO17. Two parking spaces are provided per dwelling and 2 visitor parking spaces are provided onsite.
PO18 Parking ensures access is provided for people with disabilities.	AO18 Parking areas are designed in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 — SC6.4.5.4 Car Parking.	Complies AO18. Parking areas will be designed in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 — SC6.4.5.4 Car Parking.
PO19 Where the nature of the proposed development creates a demand, provision is made for set-down and pick-up facilities by bus, taxis or private vehicle, which: <ul style="list-style-type: none"> a) are safe for pedestrians and vehicles; b) are conveniently connected to the main component of the 	No acceptable outcome is nominated.	Not applicable.

114 Anne Street Aitkenvale

Performance outcomes	Acceptable outcomes	Response
development by pedestrian pathway; and c) provide for pedestrian priority and clear sight lines		
PO20 Parking and servicing areas are designed to: <ul style="list-style-type: none"> a) be clearly defined, marked and signed; b) be convenient and accessible; c) minimise large unbroken areas of hardstand to the extent practicable; d) be safe for vehicles, pedestrians and cyclists; e) provide shading; f) be located to encourage multi-purpose trip ends and minimise vehicle movements within the site; and g) minimise any adverse impacts on the amenity of surrounding land. 	No acceptable outcome is nominated.	Complies PO20. Parking areas will be to the residential standard.
PO21 Vehicle spaces have adequate dimensions to meet user requirements.	AO21 Parking areas are designed in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 — SC6.4.5.3 Public Transport Facilities and SC6.4.5.4 Car Parking	Complies AO21. Parking areas will be designed in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 — SC6.4.5.4 Car Parking.
PO22 Pavement is constructed to an appropriate standard.	No acceptable outcome is nominated.	Can comply.
PO23 Parking and servicing areas are kept accessible and available for use as a parking area at all times during the normal business hours of the activity.	No acceptable outcome is nominated.	Not applicable. Proposal is a residential use and parking will be accessible at all time.
PO24 Visitor parking for accommodation	No acceptable outcome is nominated.	Complies AO24.

114 Anne Street Aitkenvale

Performance outcomes	Acceptable outcomes	Response
activities remains accessible and useable to visitors at all times.		
PO25 Multi-level parking areas are designed, articulated and finished to make a positive contribution to the local external streetscape character, as well as the internal user experience of the facility ensuring way finding technologies and aesthetic treatments are provided.	No acceptable outcome is nominated.	Not applicable.
Servicing		
PO26 Provision is made for the on-site loading, unloading, manoeuvring and access by service vehicles that: <ul style="list-style-type: none"> a) are adequate to meet the demands generated by the development; b) are able to accommodate the design service vehicle requirements; and c) does not unduly impede vehicular, cyclist and pedestrian safety and convenience both within the site and external to the site. 	AO26 Servicing areas are provided and designed in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 – SC6.4.5.3 Public Transport Facilities and SC6.4.5.4 Car Parking .	Not applicable. Servicing areas are not required.
PO27 Refuse collection vehicles are able to safely access on-site refuse collection facilities.	AO27 Refuse collection areas are provided and designed in accordance with the standards identified in the Development manual planning scheme policy no. SC6.4 – SC6.4.22 Waste Management , SC6.4.5.3 Public Transport Facilities and SC6.4.5.4 Car Parking.	Complies AO27. Refuse vehicles will be able to access the site as per the planning scheme policy.
PO28 Servicing arrangements minimise any adverse impact on the amenity of premises in the vicinity, having regard to operating hours, noise generation, proximity to sensitive uses, odour generation and dust.	No acceptable outcome is nominated.	Not applicable.

Healthy Waters Code: General Statement of Compliance

The proposal complies with the code. The proposal is for residential development only and does not adjoin any natural areas or areas of high ecological significance. All stormwater and waste on the property will be managed to the appropriate standards and will not result in any adverse run-off impacts.

4.0 CONCLUSION

It's considered that the proposed development is consistent with the codes applicable to this development application. It's considered that this planning report has demonstrated that no major non-compliances have been observed, and the dwelling is consistent with the amenity of the area.

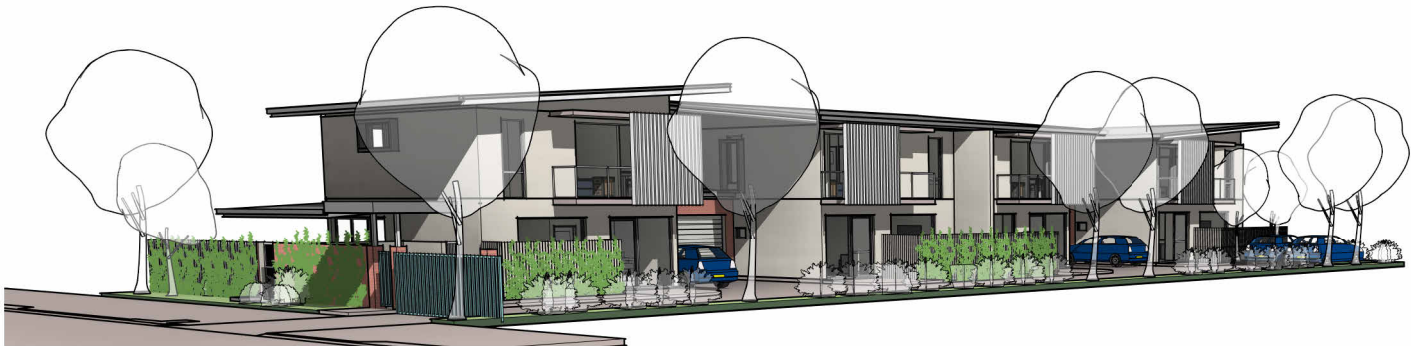
Site photo – Existing Frontage-



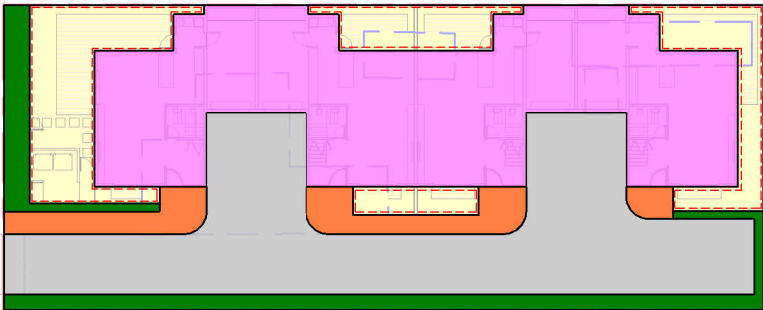


LOCATION PLAN

DRAWING LIST		
A-100	DRAWING LIST	
A-101	SITE LAYOUT - GROUND PLAN	
A-102	SITE LAYOUT - FIRST FLOOR	
A-103	SITE LAYOUT - ROOF PLAN	
A-201	SITE ELEVATIONS	
A-202	SITE SECTIONS	
A-211	TYPICAL UNIT PLAN	
A-212	TYPICAL ROOF PLAN	
A-213	TYPICAL UNIT ELEVATIONS	



AREA PLAN



SITE AREA 1011 M²

	BUILDING 380 M ²
	PAVING 60 M ²
	DRIVEWAY 315 M ²
	LANDSCAPING 84 M ²
	POS 172 M ²

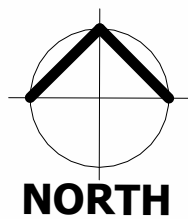
CARPARKING

TH1	2
TH2	2
TH3	2
TH4	2
VISITOR	2
TOTAL	10 CARS

PROPOSED RESIDENTIAL DEVELOPMENT

114 ANNE STREET
AITKENVALE

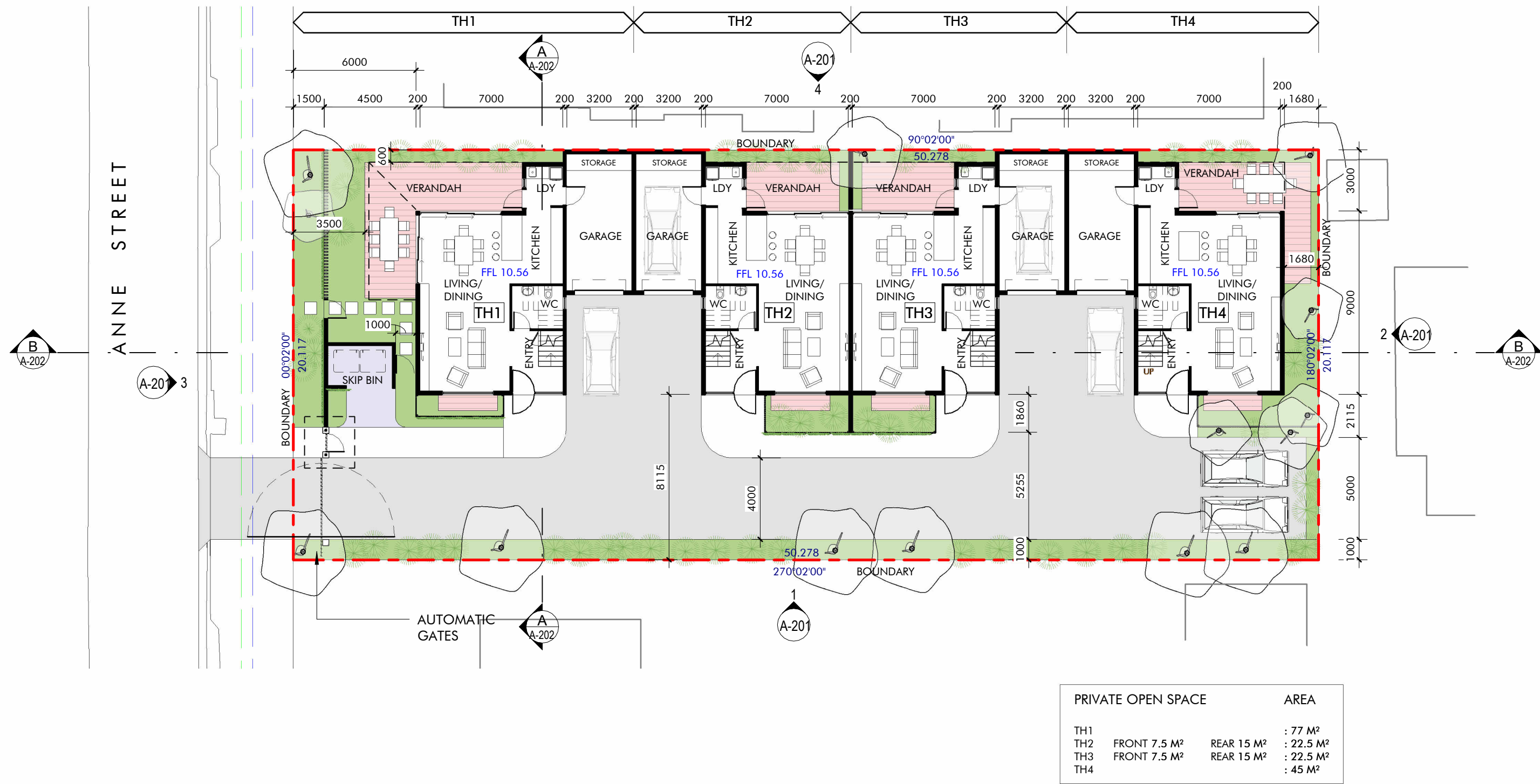
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Architects Building Workshop		Drawing No.	A-100
PN :	2025.01	Scale	As indicated@A3



PROPOSED RESIDENTIAL DEVELOPMENT
114 ANNE STREET
AITKENVALE

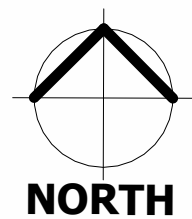
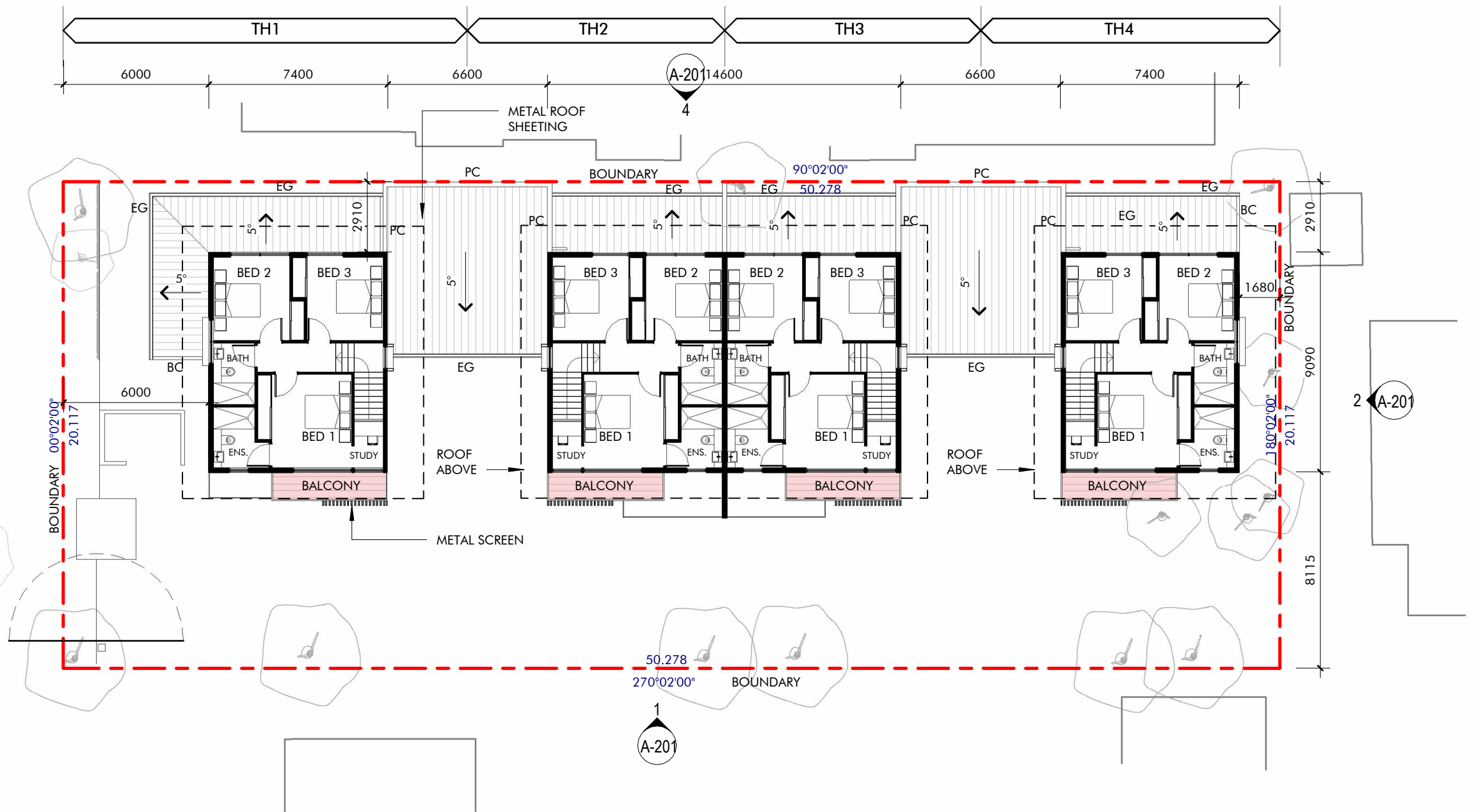


SITE LAYOUT - GROUND PLAN	
Drawing No.	A-101
PN :	2025.01
Scale	1 : 200@A3



ANNE STREET

A-201 3



PROPOSED RESIDENTIAL DEVELOPMENT

114 ANNE STREET
AITKENVALE

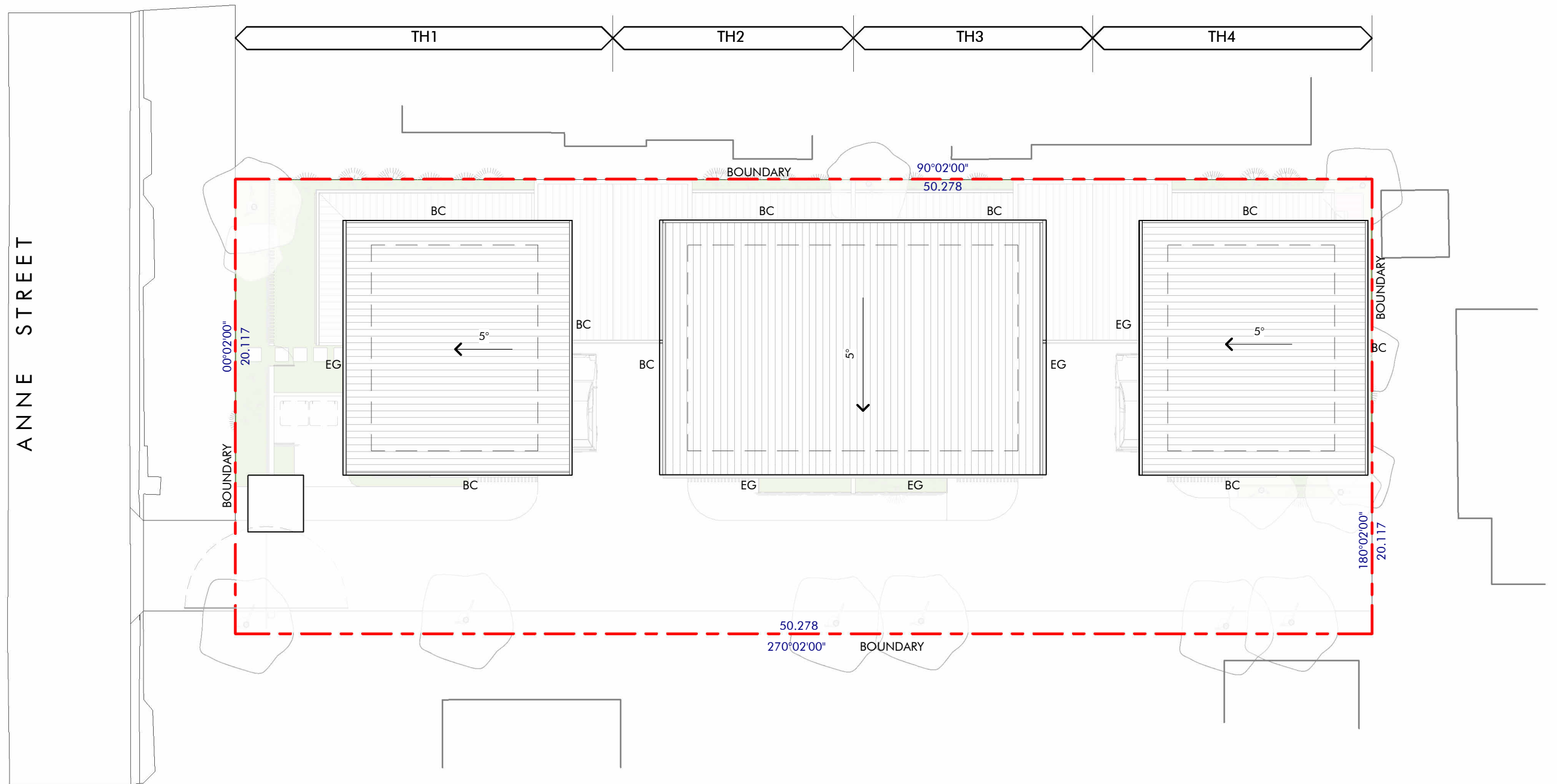
SAVAGE
Architects | Building Workshop

SITE LAYOUT - FIRST FLOOR

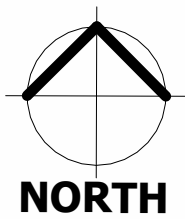
Drawing No. **A-102**

PN : 2025.01

Scale 1 : 200@A3



- LEGEND
- EG EAVES GUTTER
 - BC BARGE CAPPING
 - PC PARAPET CAPPING
 - MRS METAL ROOF SHEETING



PROPOSED RESIDENTIAL DEVELOPMENT
114 ANNE STREET
AITKENVALE

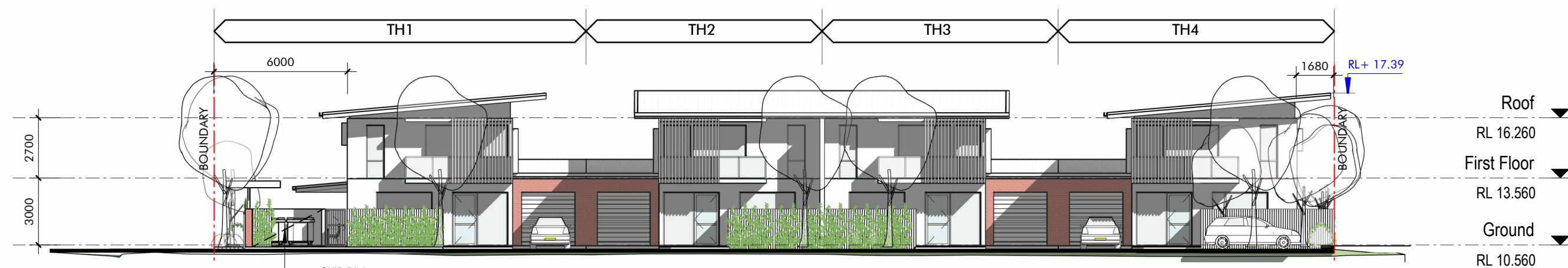
SAVAGE
Architects | Building Workshop

SITE LAYOUT - ROOF PLAN

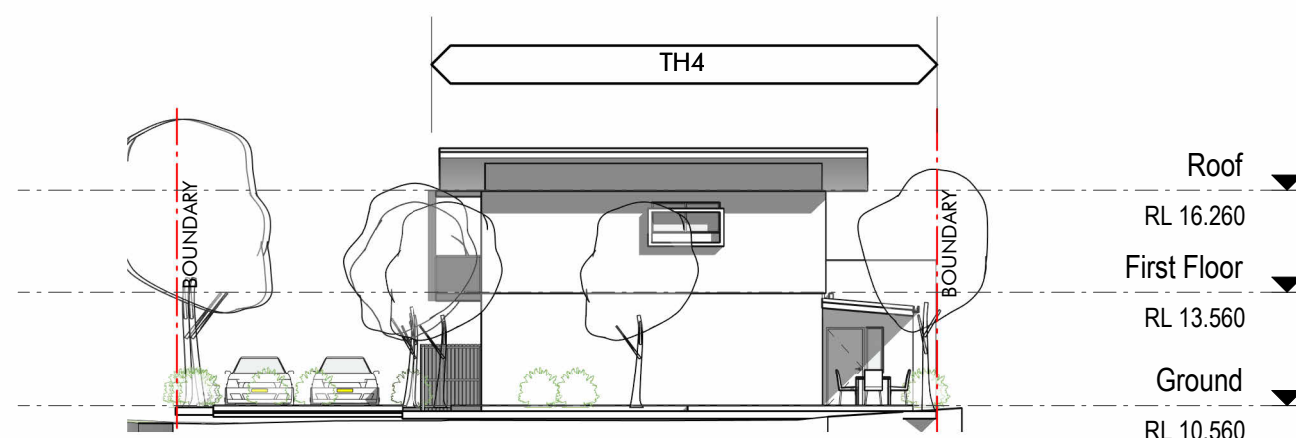
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PN : 2025.01

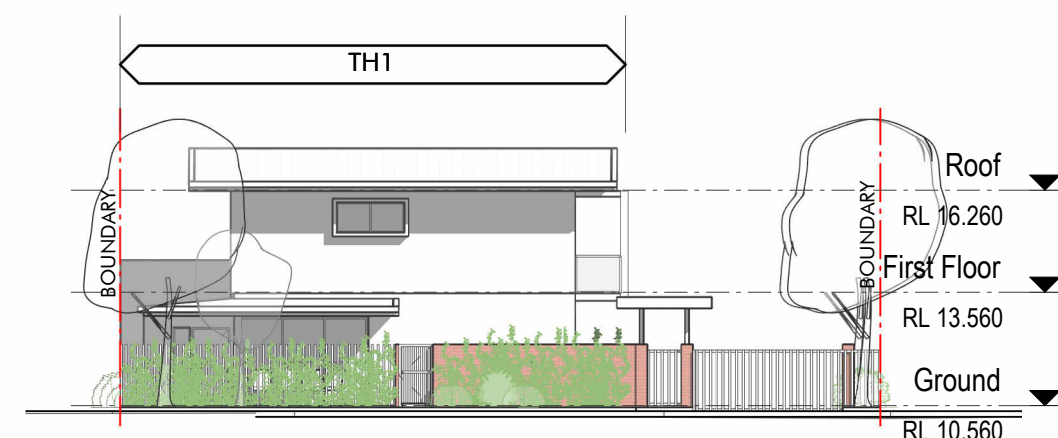
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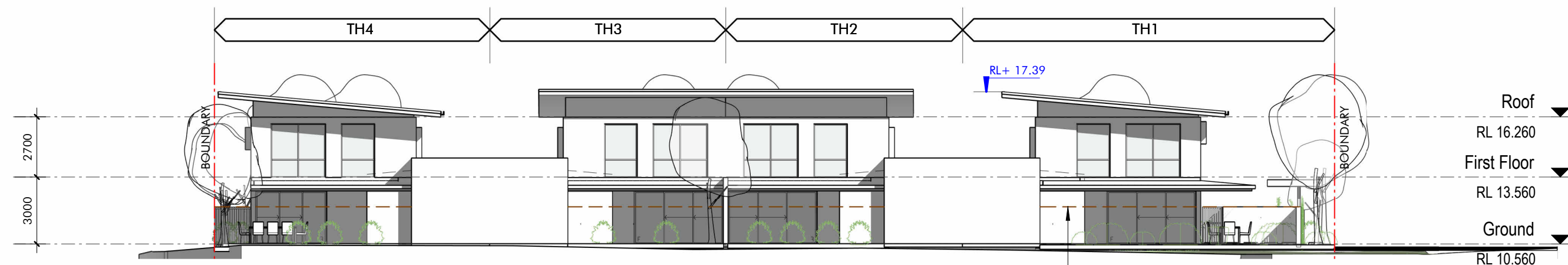
1 SOUTH ELEVATION
A-101 1 : 200



2 EAST ELEVATION
A-101 1 : 200



3 WEST ELEVATION
A-101 1 : 200

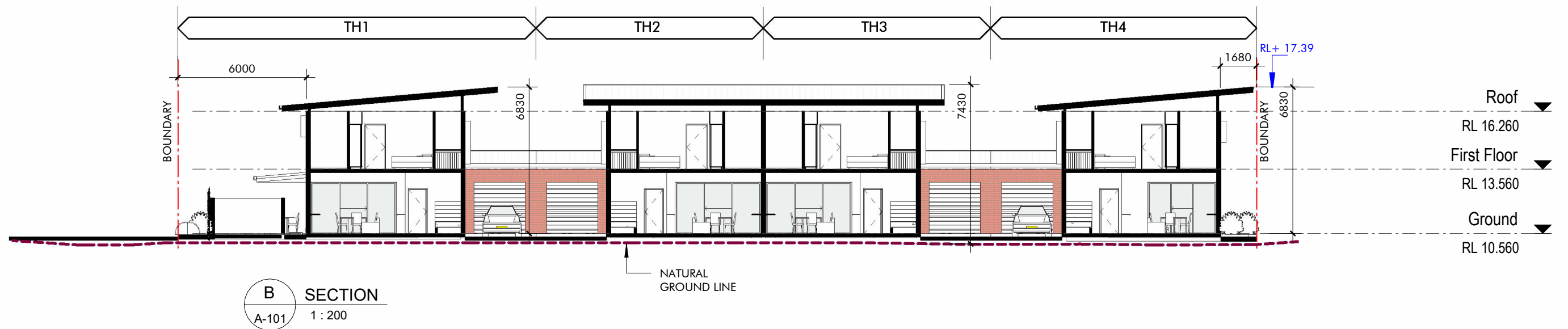
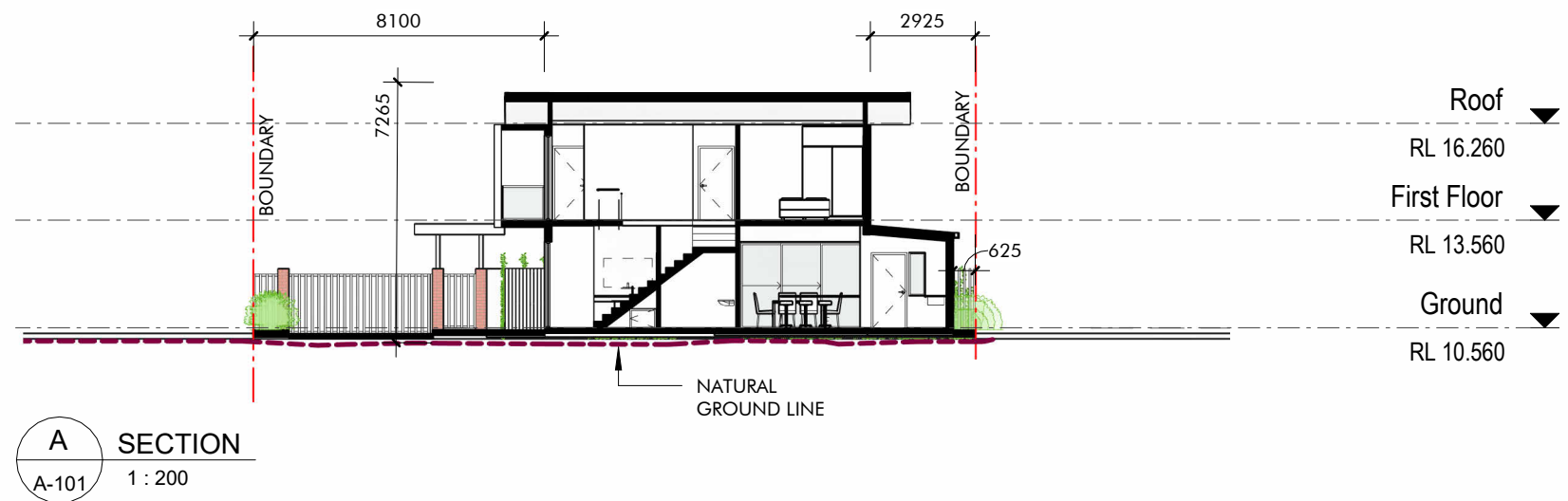


4 NORTH ELEVATION
A-101 1 : 200

PROPOSED RESIDENTIAL DEVELOPMENT

114 ANNE STREET
AITKENVALE

SAVAGE <small>Architects Building Workshop</small>		SITE ELEVATIONS	
		Drawing No.	A-201
PN :	2025.01	Scale	1 : 200@A3

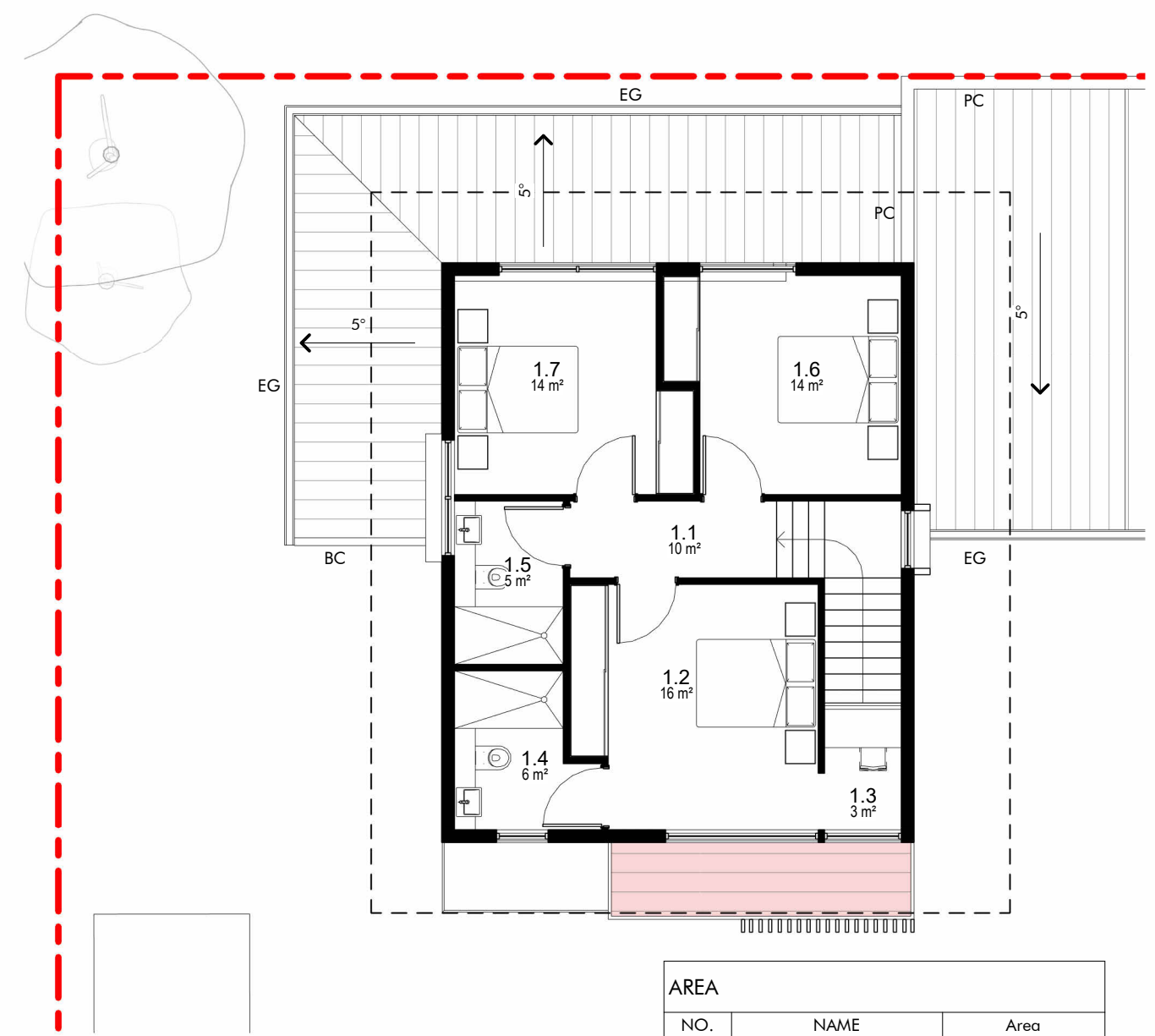
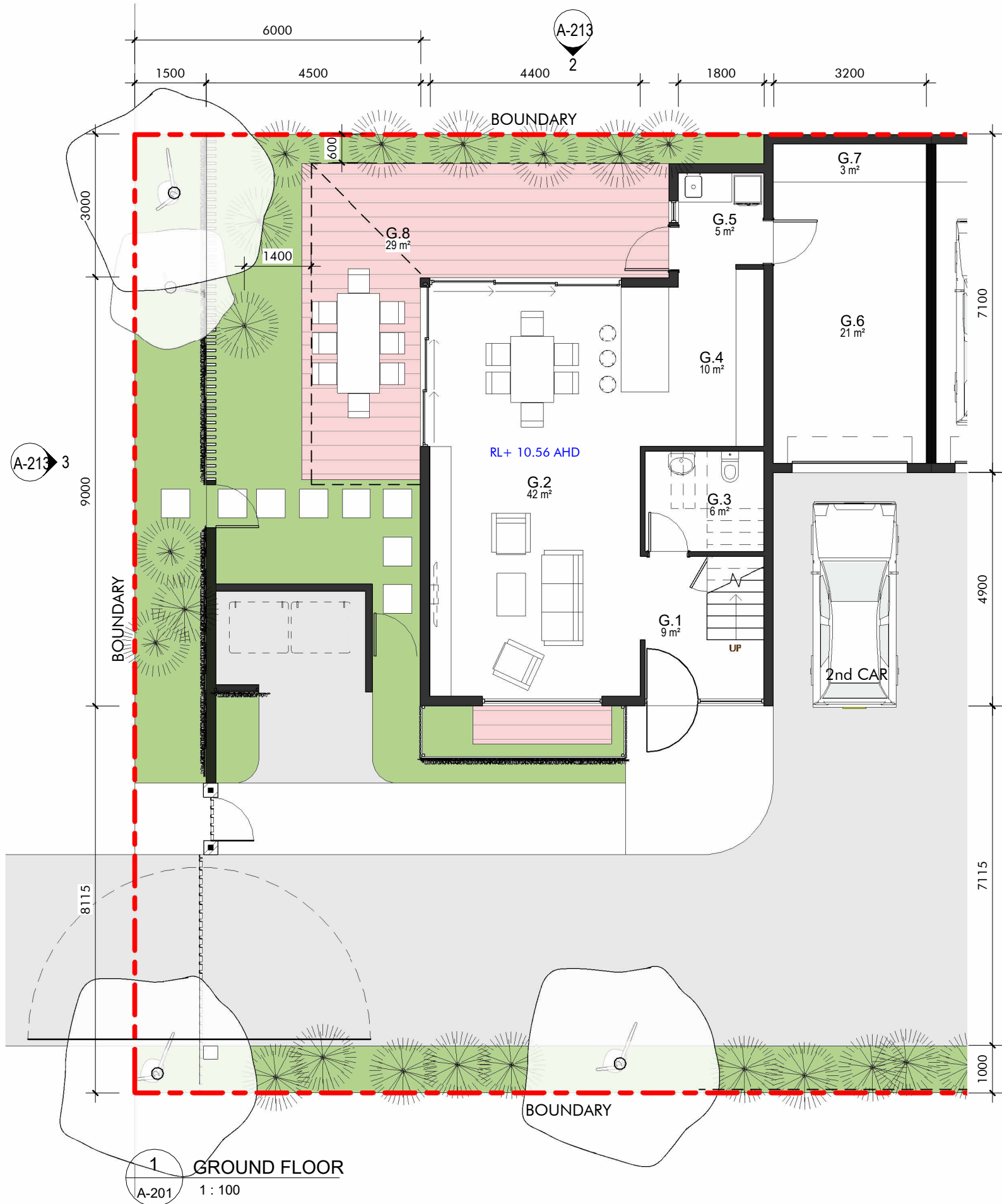


PROPOSED RESIDENTIAL DEVELOPMENT

114 ANNE STREET
AITKENVALE

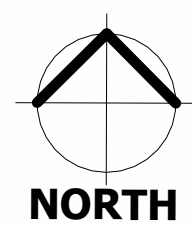
SAVAGE <small>Architects Building Workshop</small>	SITE SECTIONS	
	Drawing No.	A-202
	Scale	1 : 200@A3

PN : 2025.01



AREA		
NO.	NAME	Area
G.1	ENTRY	8.80 m²
G.2	LIVING / DINING	42.27 m²
G.3	WC	6.00 m²
G.4	KITCHEN	9.57 m²
G.5	LAUNDRY	5.10 m²
G.6	GARAGE	20.74 m²
G.7	STORAGE	3.40 m²
G.8	Area	29.22 m²
1.1	CORRIDOR	9.91 m²
1.2	MASTER BED	15.62 m²
1.3	STUDY	3.12 m²
1.4	MASTER BATH	6.14 m²
1.5	BATH ROOM	5.17 m²
1.6	BED 1	13.71 m²
1.7	BED 2	13.60 m²
		192.37 m²

- LEGEND
- EG EAVES GUTTER
 - BC BARGE CAPPING
 - PC PARAPET CAPPING
 - MRS METAL ROOF SHEETING

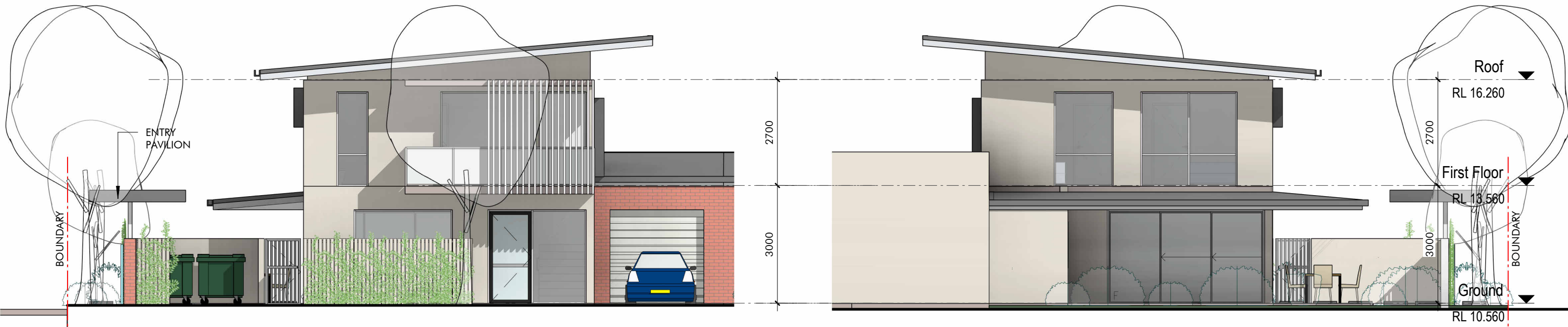


PROPOSED RESIDENTIAL DEVELOPMENT

114 ANNE STREET
AITKENVALE

SAVAGE
Architects | Building Workshop

TYPICAL UNIT PLAN
Drawing No. **A-211**
PN : 2025.01
Scale As indicated@A3



1 FRONT ELEVATION
1 : 100

2 REAR ELEVATION
A-211 1 : 100



3 SIDE ELEVATION
A-211 1 : 100

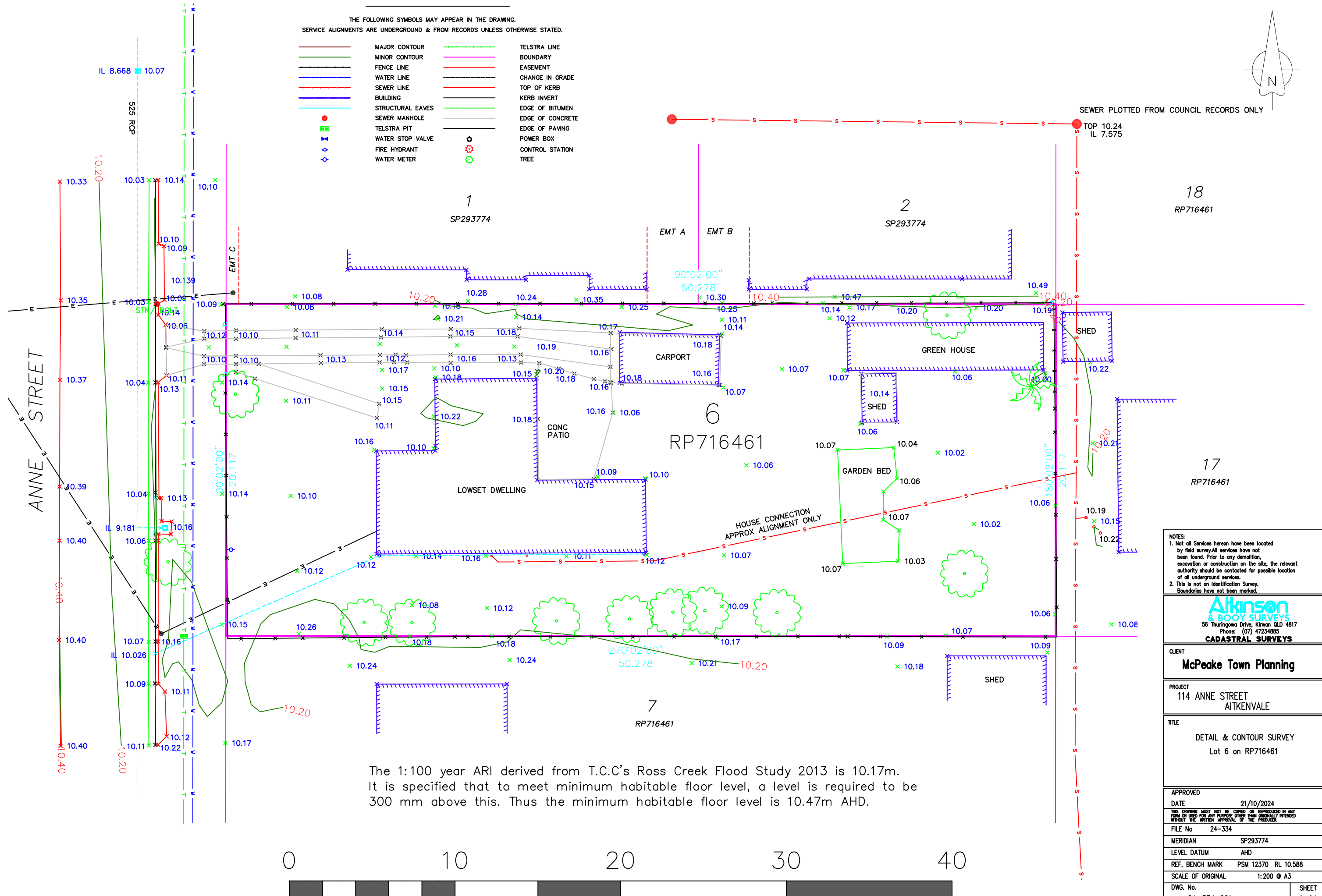
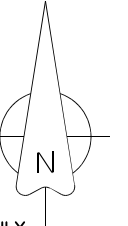
PROPOSED RESIDENTIAL DEVELOPMENT
114 ANNE STREET
AITKENVALE

SAVAGE <small>Architects Building Workshop</small>		TYPICAL UNIT ELEVATIONS	
		Drawing No.	A-213
PN :	2025.01	Scale	1 : 100@A3

FEATURE LEGEND

THE FOLLOWING SYMBOLS MAY APPEAR IN THE DRAWING.
SERVICE ALIGNMENTS ARE UNDERGROUND & FROM RECORDS UNLESS OTHERWISE STATED.

	MAJOR CONTOUR		TELSTRA LINE
	MINOR CONTOUR		BOUNDARY
	FENCE LINE		EASEMENT
	WATER LINE		CHANGE IN GRADE
	SEWER LINE		TOP OF KERB
	BUILDING		KERB INVERT
	STRUCTURAL EAVES		EDGE OF BITUMEN
	SEWER MANHOLE		EDGE OF CONCRETE
	TELSTRA PIT		EDGE OF PAVING
	WATER STOP VALVE		POWER BOX
	FIRE HYDRANT		CONTROL STATION
	WATER METER		TREE



The 1:100 year ARI derived from T.C.C's Ross Creek Flood Study 2013 is 10.17m.
It is specified that to meet minimum habitable floor level, a level is required to be
300 mm above this. Thus the minimum habitable floor level is 10.47m AHD.

NOTES:
1. Not all Services hereon have been located by field survey. All services have not been found. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of all underground services.
2. This is not an Identification Survey. Boundaries have not been marked.

Atkinson & BOY SURVEYS
56 Thuringowa Drive, Kiron QLD 4817
Phone: (07) 47234885
CADASTRAL SURVEYS

CLIENT
McPeake Town Planning

PROJECT
114 ANNE STREET
AITKENVALE

TITLE
DETAIL & CONTOUR SURVEY
Lot 6 on RP716461

APPROVED
DATE 21/10/2024

THIS DRAWING MUST NOT BE COPIED OR REPRODUCED IN ANY FORM OR USED FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED WITHOUT THE WRITTEN APPROVAL OF THE PRODUCER.

FILE No 24-334

MERIDIAN SP293774

LEVEL DATUM AHD

REF. BENCH MARK PSM 12370 RL 10.588

SCALE OF ORIGINAL 1:200 @ A3

DWG. No. 24-334_001 SHEET 1 of 1