

Appendix D

Prelodgement Meeting Advice



PRE-LODGEMENT MEETING MINUTES >>

PO BOX 1268, Townsville
Queensland 4810

COUNCIL REFERENCE >> PLM25/0044 13 48 10
ASSESSMENT NO >> 4602499 enquiries@townsville.qld.gov.au
LEGAL DESCRIPTION >> Lot 2 RP 850718 townsville.qld.gov.au
Lot 3 SP 256046 ABN: 44 741 992 072
PROPERTY ADDRESS >> 148 Yolanda Drive ANNANDALE QLD 4814
PROPOSAL >> Educational Establishment (formalisation of existing staff
and student numbers)

DATE >> 18 March 2025
TIME >> 2:00 pm

ATTENDEES >>

Phillipa Galligan	Coordinator - Planning Assessment -Planning and Development
Kate Wilkes	Senior Planner - Planning and Development
Dale Armbrust	Senior Development Engineer - Planning and Development
Charlotte Brine	Planning Support Officer - Planning and Development
Erin Beynon	Planning Support Officer - Planning and Development

VIA MICROSOFT TEAMS/TELECONFERENCE >>

Stacey Devaney RPS Consulting Pty Ltd

Description of the Proposal

- Proposed Material Change of Use to formalise the existing staff and student number at the Annandale Christian College.
- Current development and court order cap of 595 has been exceeded (approximately 700 students)
- No additional buildings proposed as part of the new MCU however an increase in car parking is proposed to the existing carpark accessed via Yolanda Drive.
- Development proposal plans (proposed carparking layout) - Attached

Property Zoning and Overlays

Lot 2 RP 850718 & Lot 3 SP 256046

Zone:

>> Open space zone

>> Community facilities zone

Priority infrastructure plan:

>> This property is within a Local Government Infrastructure Plan Area.

Overlay(s):

>> Airport Environs Overlay Map OM-01.1 - Operational airspace - Airspace more than 90m above ground level

>> Airport Environs Overlay Map OM-01.2 - Wildlife hazard buffer zones and Public safety areas - Distance from airport runway - 8km

>> Development Constraints Overlay Map OM-06.1 to OM-06.2 - Flood hazard - Low hazard area

- >> Development Constraints Overlay Map OM-06.1 to OM-06.2 - Flood hazard - Medium hazard area
- >> Development Constraints Overlay Map OM-06.1 to OM-06.2 - Flood hazard - High hazard area
- >> Environment Natural Assets Overlay Map OM-08 - Environmental importance - High

Planning Scheme

The proposal is subject to assessment against the Townsville City Plan. The planning scheme can be viewed via the following link: [Current City Plan \(townsville.qld.gov.au\)](https://townsville.qld.gov.au/current-city-plan)

Furthermore, Townsville Maps can be viewed via the following link: [TownsvilleMAPS Mapping Service - Townsville City Council](#)

Meeting Discussion

- Defined Use – Educational Establishment
- Level of assessment - Impact Assessment
- Strategic Framework
 - o The application must address the relevant sections of the strategic framework.
- Open space and Community facilities zone code
 - o A Noise Impact Assessment report is required to identify any noise impacts associated with the increase in student and staff number as well as the car park to the nearby residences. The noise report should identify any impacts associated with extracurricular activities and after hours school care.
- Transport impact, access and parking code
 - o Traffic impact assessment report certified by an RPEQ will be required. Report to include:
 - Carparking demand assessment and management plan.
 - Identification of traffic impacts on the external road network and any required mitigation measures.
- Landscape Code
 - The proposed car parking layout must address the relevant section of the Landscape code. In particular, shade trees will need to be included in the parking layout plan.
- Works code
 - o Water and sewerage – An engineering report prepared by an RPEQ to identify the demands associated with the use and whether any upgrades to Council assets are required to accommodate the development.
- Healthy waters code
 - o Stormwater management plan certified by an RPEQ will be required, addressing both runoff quantity and quality.
- Airport environs overlay code
- Flood hazard overlay code
 - Flood impact assessment report certified by an RPEQ will be required. Council can supply its latest flood model free of charge for this purpose.
- Natural assets overlay code – No concerns are raised as the proposed carpark layout is not identified within the Natural Assets overlay.

Other Applicable Information

Upon lodgement of your development application, you will be required to pay assessment fees in accordance with Council's Planning Services Fees and Charges Schedule. For the most current schedule, please refer to: [Fees & Charges - Townsville City Council](#)

Furthermore, the development proposal may be subject to Infrastructure Charges. For a comprehensive review of Council's Infrastructure Charge Resolution, please view the following link: [Infrastructure Charges - Townsville City Council](#)

Note: As part of the application, Council will review existing gross floor area associated with the Educational Establishment to ensure the existing gross floor area has been captured for infrastructure charges.

Post Meeting Feedback

- Upon further review of the proposed carpark extension layout, it is recommended the layout be revised to include a suitable area at the end of the carpark that provides for adequate space for vehicles to turn around and exit the carpark in the event that the carpark is at capacity e.g. cul-de-sac.

Meeting Closed >> 2:25pm

Note: This pre-lodgement advice has been prepared based on the information provided in the meeting. A full assessment of the proposal against the planning scheme has not been carried out and this advice may be subject to change at the time of lodgement of a formal development application. An application may be subject to requests for further information not identified in the pre-lodgement meeting following a full assessment.

Appendix E

Proposal Plans



DRAWING LIST		
DD-01	COVER PAGE	DA1
DD-02	LOCATION PLAN	DA1
DD-03	SITE PLAN	DA1
DD-04	FLOOR PLAN - GROUND	DA1
DD-05	FLOOR PLAN - UPPER FLOOR	DA1
DD-06	ROOF PLAN	DA1
DD-07	ELEVATIONS - SHEET 1	DA1
DD-08	ELEVATIONS - SHEET 2	DA1
DD-09	SECTIONS	DA1
DD-10	PERSPECTIVE PLAN - GROUND	DA1
DD-11	PERSPECTIVE PLAN - FIRST	DA1
DD-12	PERSPECTIVES	DA1
DD-13	MATERIAL PALLETTE	DA1

JOB: ACT01
DATE: 3/6/2026

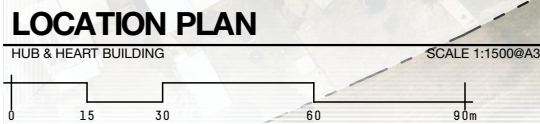
ANNANDALE CHRISTIAN COLLEGE
HUB & HEART BUILDING
LOCATION: 148 YOLANDA DRIVE_ANNANDALE_TOWNSVILLE_QLD_4814.

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DA1



ANNANDALE CHRISTIAN COLLEGE
HUB & HEART BUILDING
LOCATION: 148 YOLANDA DRIVE, ANNANDALE, TOWNSVILLE, QLD, 4814.

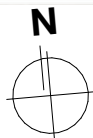
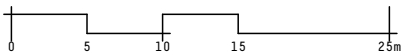
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SITE PLAN

HUB & HEART BUILDING

SCALE 1:500@A3



ANNANDALE CHRISTIAN COLLEGE

HUB & HEART BUILDING

LOCATION: 148 YOLANDA DRIVE ANNANDALE TOWNSVILLE QLD 4814.

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B3

DD-03

SITE PLAN

JOB:
ACT01

DATE:
3/6/2026

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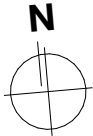
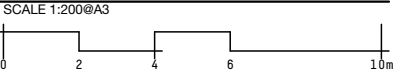
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ISSUE
DAI

GROUND FLOOR AREAS (GFA)	
AMENITIES (STAFF FEMALE)	12.6
AMENITIES (STAFF MALE)	10.5
AMENITIES (STAFF PWD)	8.2
AMENITIES (STUDENT PWD)	6.4
AMENITIES (STUDENTS FEMALE)	20.3
AMENITIES (STUDENTS MALE)	19.2
AMENITIES (VISITOR PWD)	6.8
AMENITIES (VISITOR WC)	6.7
CIRCULATION	29.9
G.L.A. 01	95.4
G.L.A. 02	91.6
MEETING ROOM (PUBLIC)	21.4
STAFF KITCHEN & LOUNGE	110.2
439.2 m²	

GROUND FLOOR EXTERNAL AREAS	
COVERED CAFE SEATING	16.5
COVERED ENTRY FORECOURT (INCL. STAIR)	38.7
COVERED LINK	208.7
COVERED STAFF COURT	32.6
COVERED STAFF LINK	31.2
ENTRY FORECOURT TURF	59.6
ENTRY FORECOURT UNCOVERED	177.0
G.L.A. COURTYARD	67.5
GARDEN	7.4
PATH 01	79.1
PATH 02	84.8
PATH 03	53.0
PLANTER	94.4
RAMP	10.5
STAFF COURT	58.6
1,019.6 m²	

GROUND FLOOR PLAN



ANNANDALE CHRISTIAN COLLEGE
HUB & HEART BUILDING
LOCATION: 148 YOLANDA DRIVE ANNANDALE TOWNSVILLE QLD 4814.



FIRST FLOOR AREAS (GFA)	
AMENITIES (STAFF) - INCL CLNR	21.1
BOARD ROOM	32.0
CIRCULATION	75.6
MEETING (EXEC)	11.4
OFFICE - ADMIN & ENROLMENTS	13.1
OFFICE - BUSINESS MANAGER	20.8
OFFICE - DEP PRINCIPAL (PRIMARY)	12.9
OFFICE - DEP PRINCIPAL (SECOND)	12.9
OFFICE - FINANCE (SHARED)	18.1
OFFICE - HR MANAGER	12.5
OFFICE - PRINCIPAL	20.8
OFFICE - PRINCIPAL PA	12.1
OFFICE - RISK & COMPLIANCE	12.5
OPEN OFFICE ZONE 1	42.5
OPEN OFFICE ZONE 2	27.8
OPEN OFFICE ZONE 3	40.3
PRINT ZONE	5.5

391.9 m²

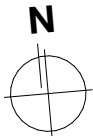
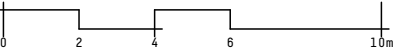
UPPER FLOOR EXTERNAL AREAS	
MECHANICAL ENCLOSURE	33.9

33.9 m²



UPPER FLOOR PLAN

SCALE 1:200@A3



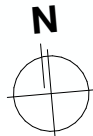
ANNANDALE CHRISTIAN COLLEGE

HUB & HEART BUILDING

LOCATION: 148 YOLANDA DRIVE ANNANDALE TOWNSVILLE QLD 4814.

ROOF PLAN

SCALE 1:200@A3



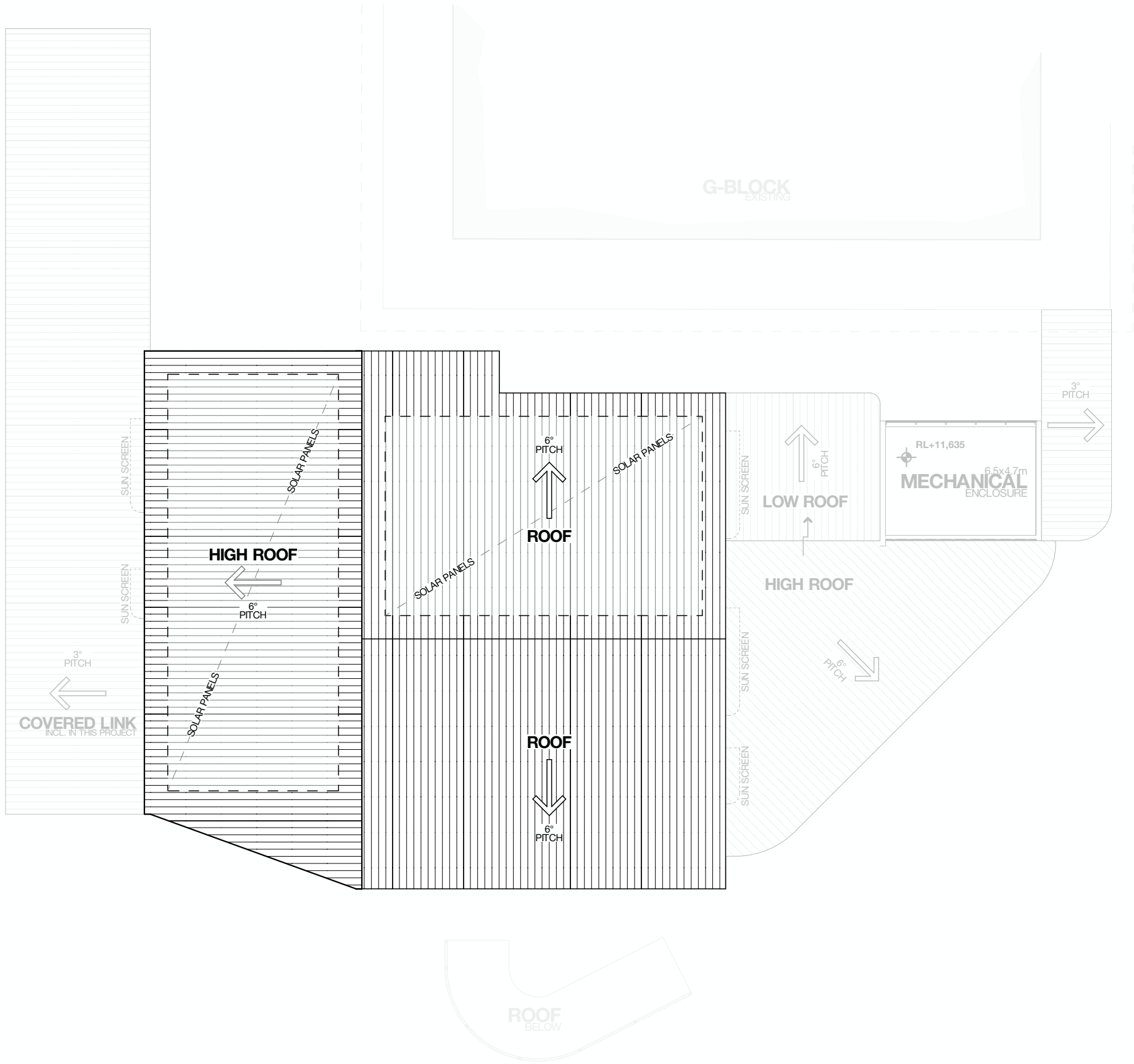
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HUB & HEART BUILDING

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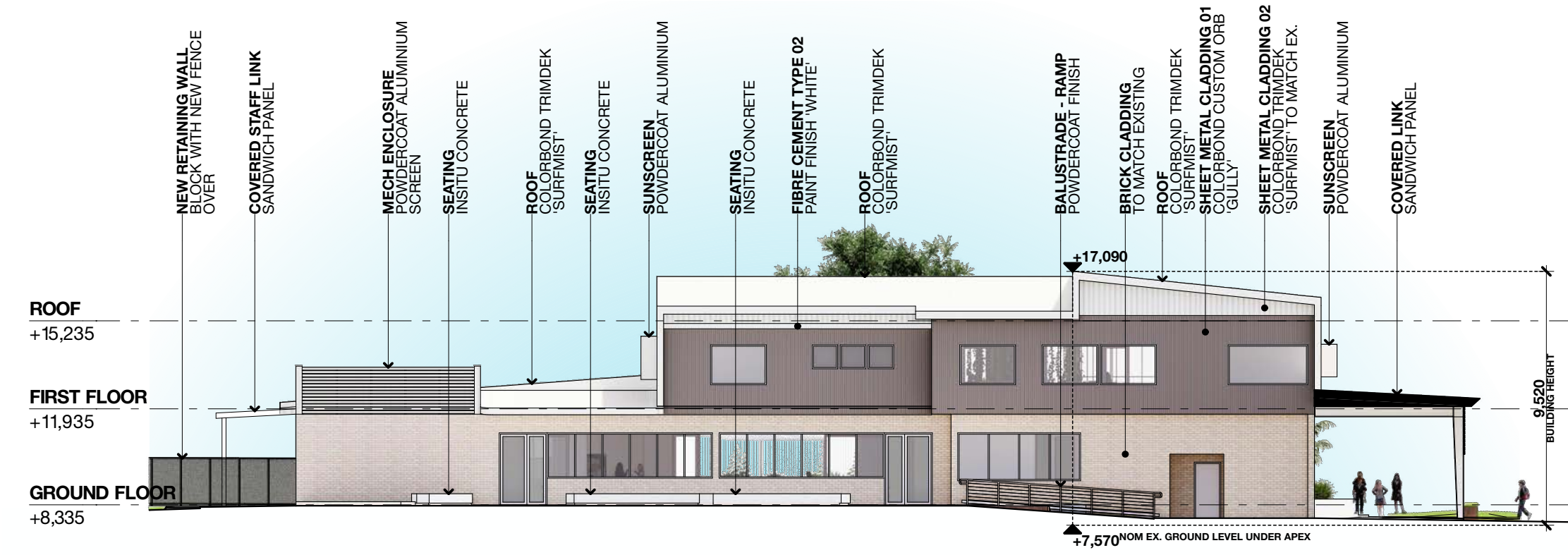
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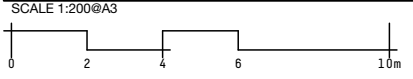
ROOF PLAN

DD-06

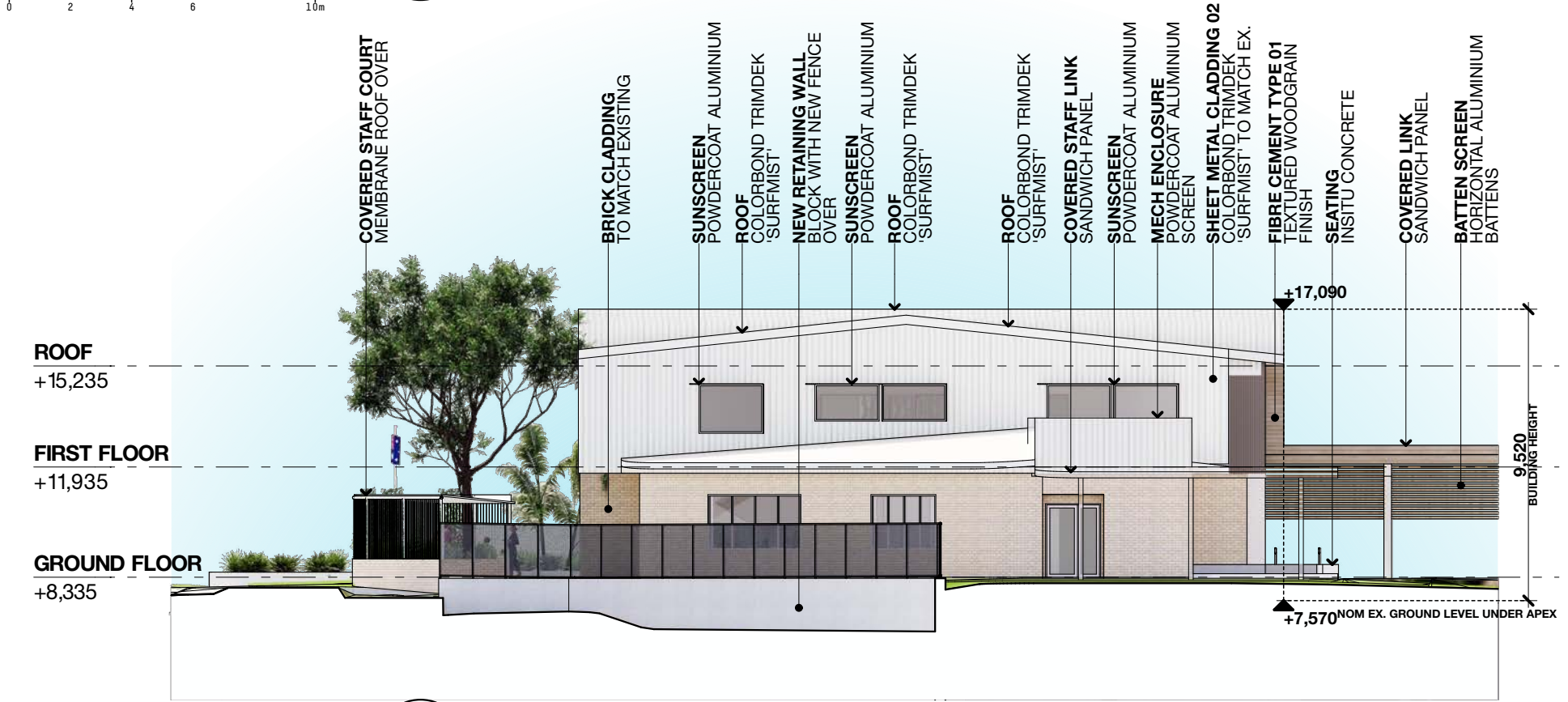
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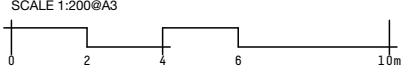
NORTH ELEVATION



N_SK



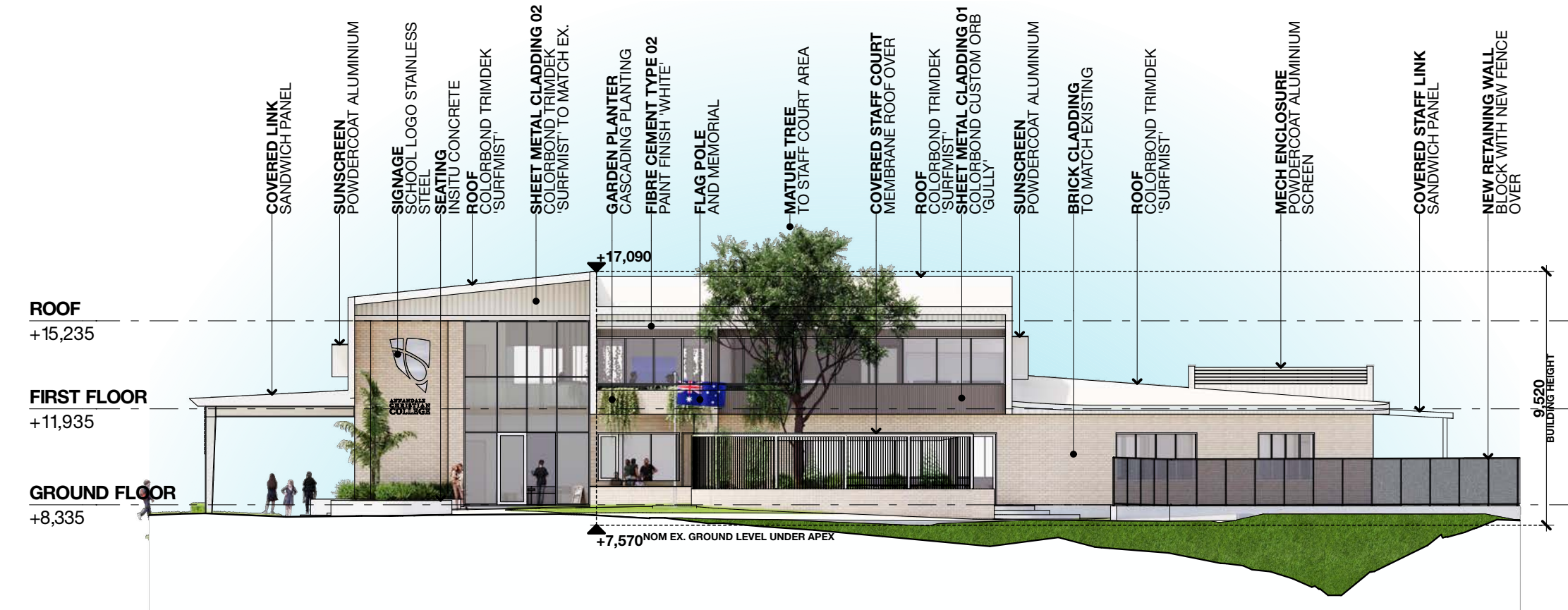
EAST ELEVATION



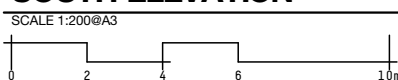
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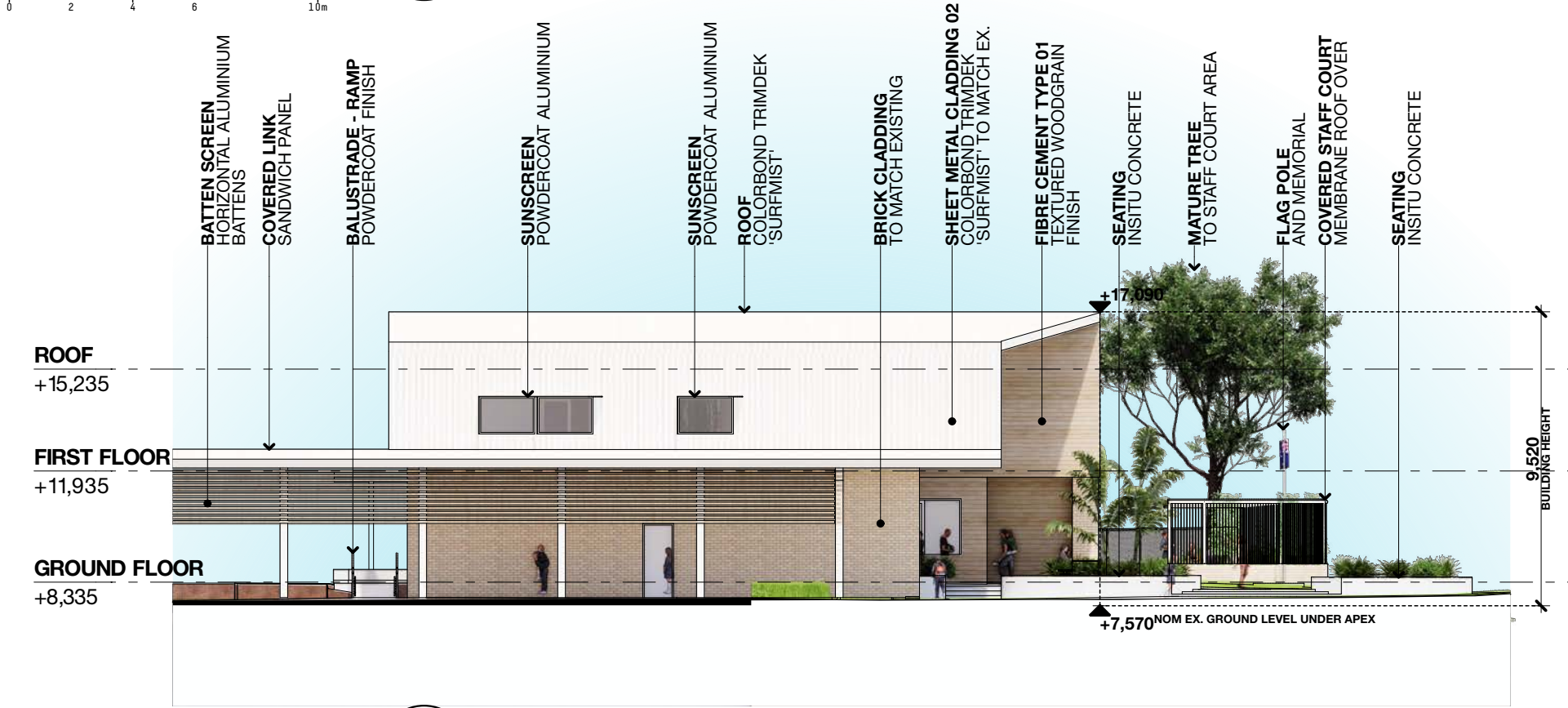
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SOUTH ELEVATION



S_SK



WEST ELEVATION



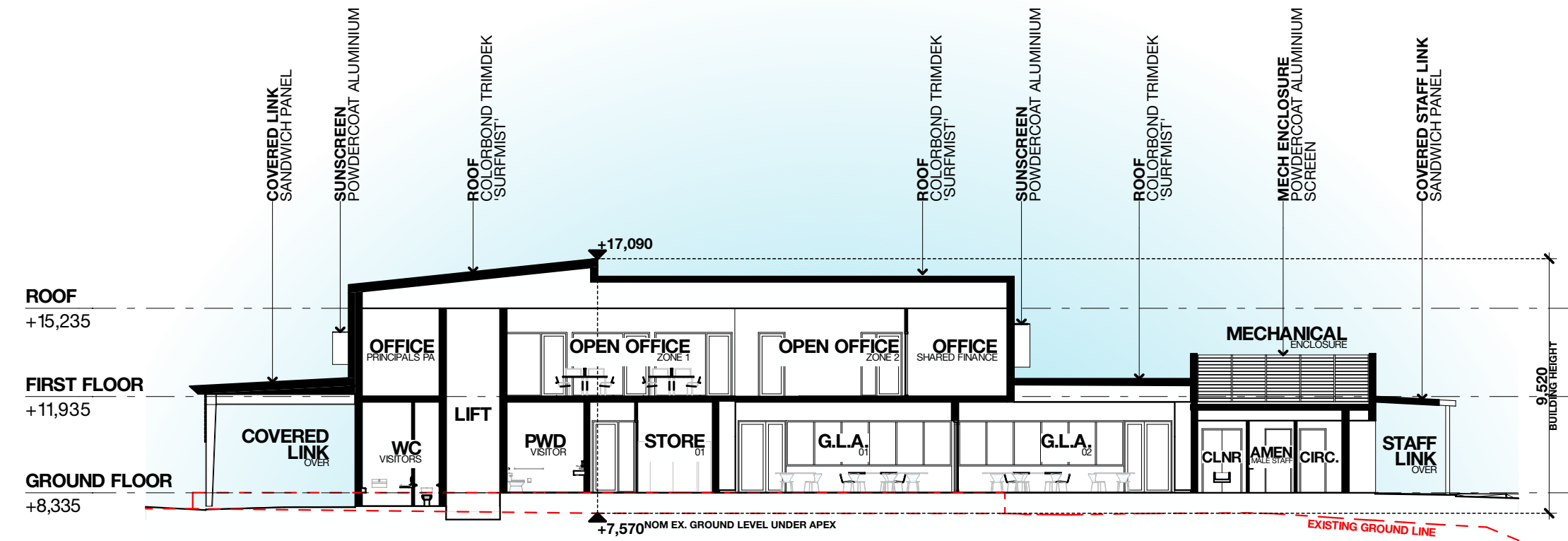
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ANNANDALE CHRISTIAN COLLEGE

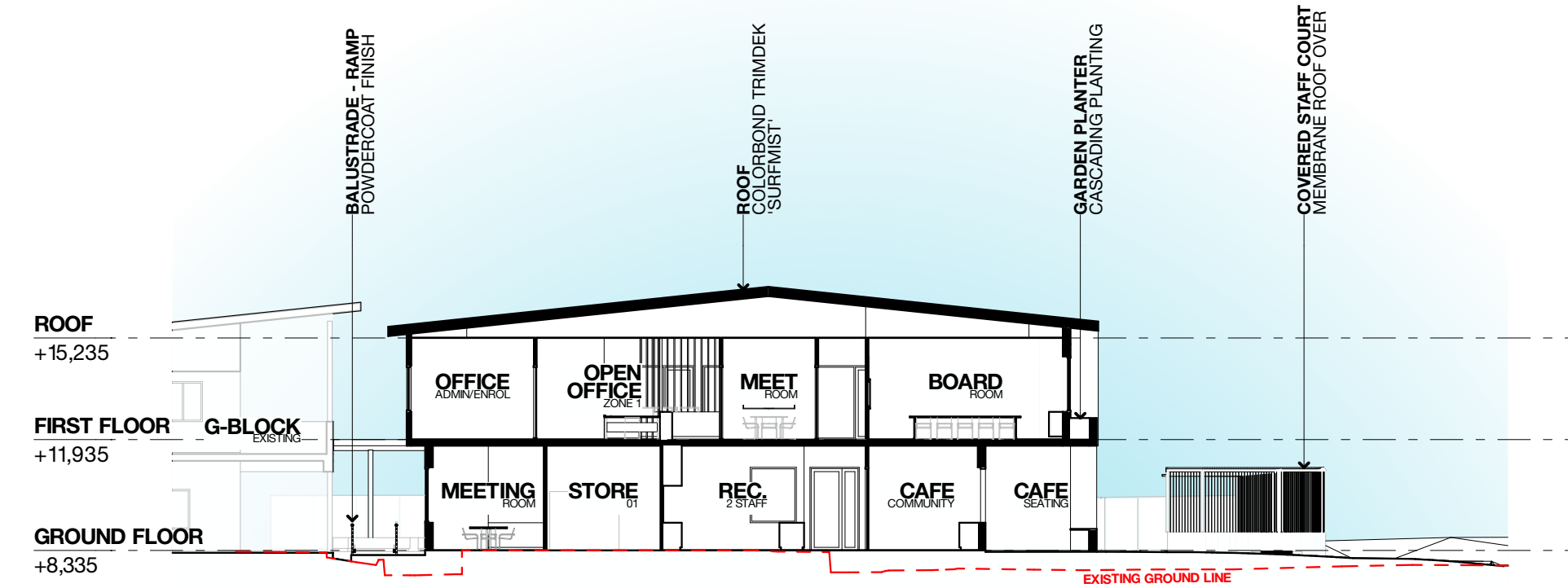
HUB & HEART BUILDING

LOCATION: 148 YOLANDA DRIVE ANNANDALE TOWNSVILLE QLD 4814.

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SECTION 1
SCALE 1:200@A3
S1_SK



SECTION 2
SCALE 1:200@A3
S2_SK

ANNANDALE CHRISTIAN COLLEGE
HUB & HEART BUILDING
LOCATION: 148 YOLANDA DRIVE ANNANDALE TOWNSVILLE QLD 4814.

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GROUND FLOOR AREAS (GFA)

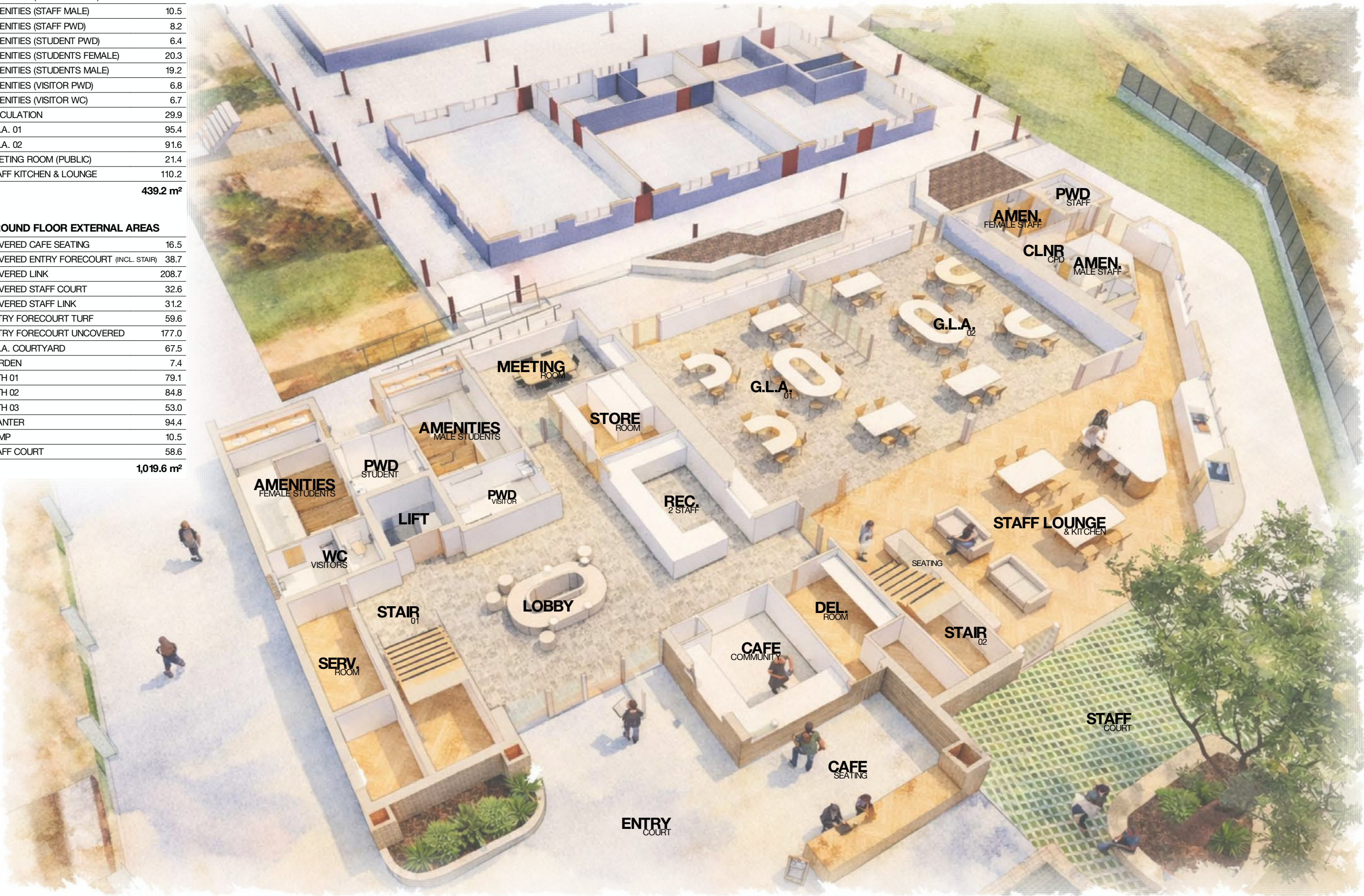
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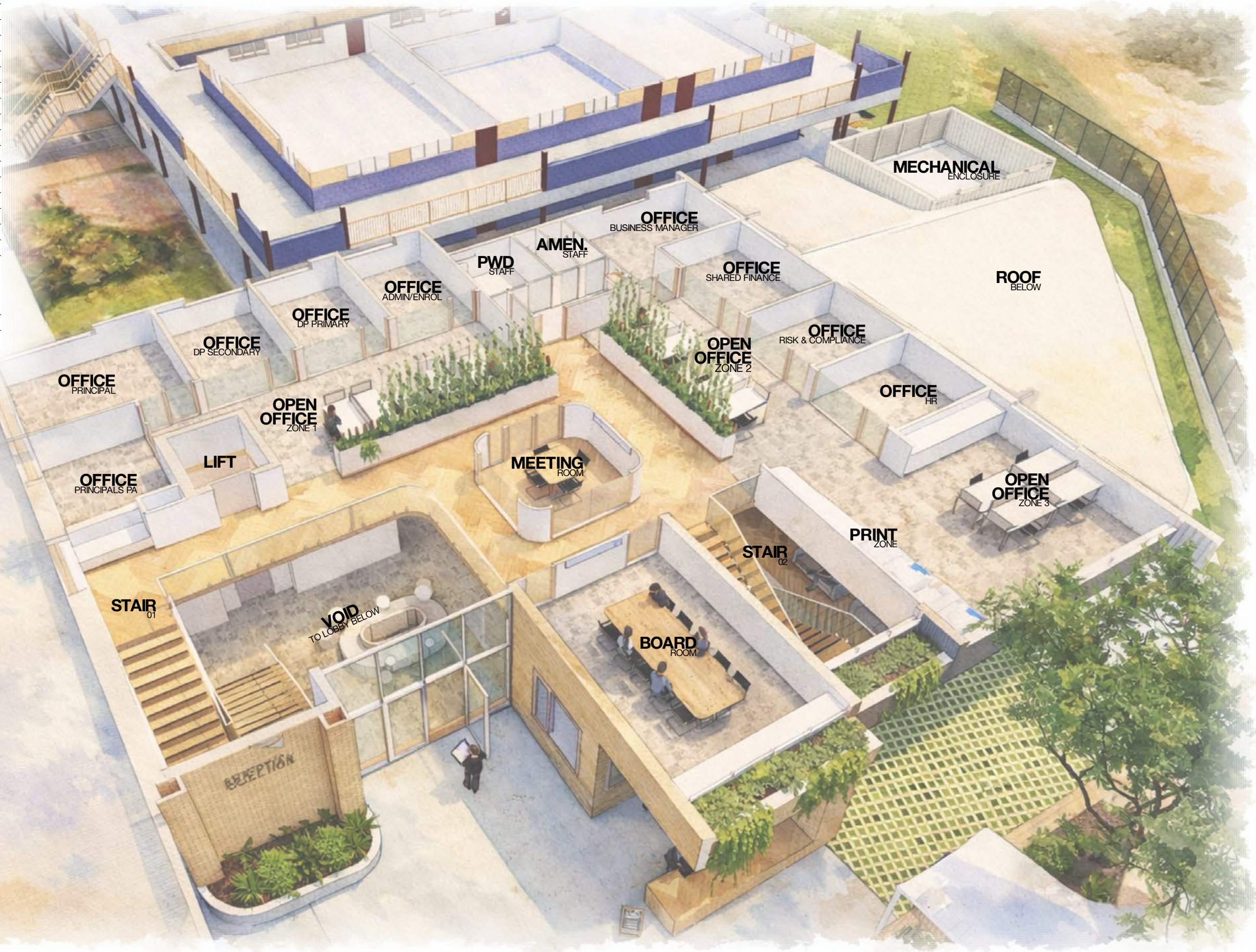
GROUND FLOOR EXTERNAL AREAS

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1,019.6 m²



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UPPER FLOOR EXTERNAL AREAS	
MECHANICAL ENCLOSURE	33.9
33.9 m²	



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ENTRY
FORECOURT
GROUND FLOOR



CAFE & STAFF
COURTYARD
GROUND FLOOR



G.L.A. & STAFF
LOUNGE/KITCHEN
GROUND FLOOR



SHARED OFFICE
ZONE 1
UPPER FLOOR



ANNANDALE CHRISTIAN COLLEGE
HUB & HEART BUILDING
LOCATION: 148 YOLANDA DRIVE ANNANDALE TOWNSVILLE QLD 4814.

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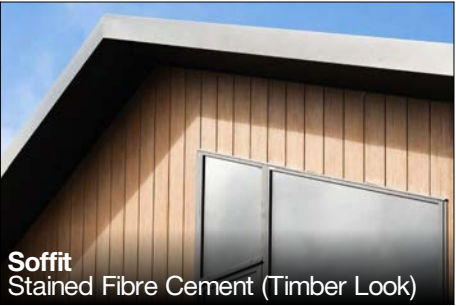
EXTERNAL FINISHES SCHEDULE



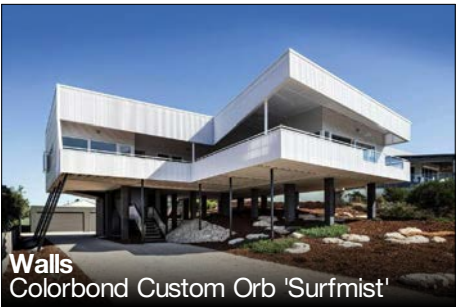
Door & Window Frames
Powdercoated Aluminium



Roof
Colorbond Trimdek



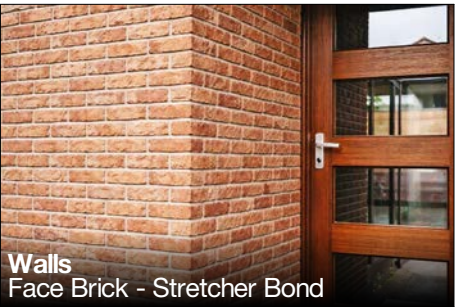
Soffit
Stained Fibre Cement (Timber Look)



Walls
Colorbond Custom Orb 'Surfmist'



Walls
Colorbond Custom Orb 'Gully'



Walls
Face Brick - Stretcher Bond

- Walls** - Face Brick, Fibre Cement & Colorbond Sheet Metal
Soffit - Stained Fibre Cement Sheet
Roof - Colorbond 'Surfmist'

INTERNAL FINISHES SCHEDULE



Door & Window Frames
Powdercoated Aluminium



Joinery
Timber Laminate



Ceiling
Standard & Perforated Plasterboard



Floor
Vinyl Planks



Floor
Carpet Tiles



Screen
Aluminium - Timber Look

- Walls** - Painted Plasterboard
Ceiling - Standard & Perforated Acoustic Plasterboard - Painted
Skirting - Timber

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