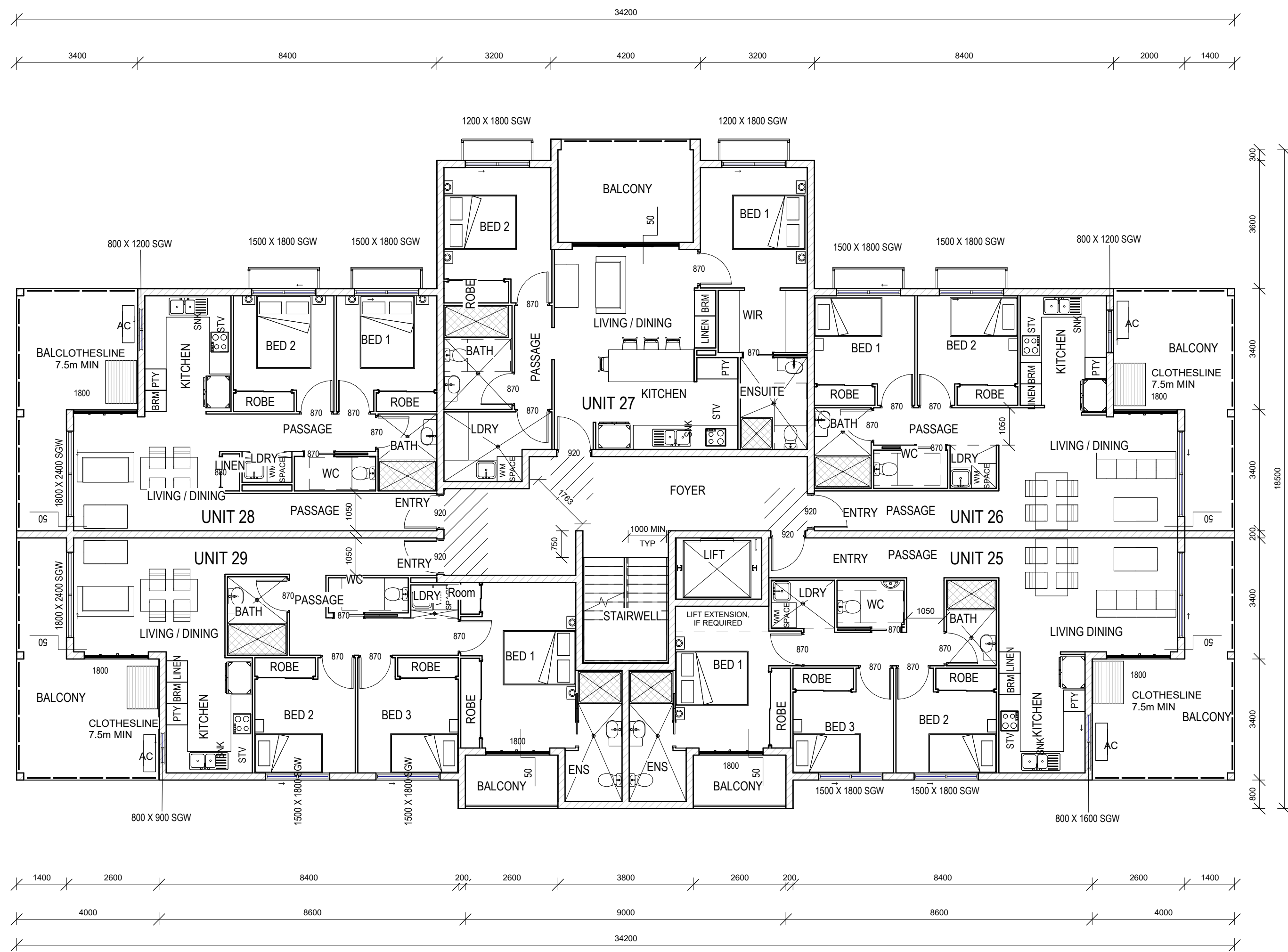
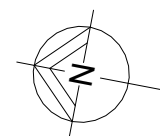


MECHANICAL EQUIPMENT SCHEDULE	
MARK	DESCRIPTION
AC	AIR CONDITIONING CONDENSER



1 BLK C - LEVEL 02 PLAN
1 : 100

Townsville City Council
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MCU25/0006
10/12/2025

- LIST OF REQUIRED FRLs
- EXTERNAL WALLS: 90/60/30
 - EXTERNAL COLUMNS 90/-/-
 - INTERNAL WALLS BETWEEN SOUs AND BOUNDING COMON STAIRWAY
 - FIRST FLOOR: 90/90/90
 - SECOND FLOOR: 90/90/90
 - THIRD FLOOR: 60/60/60
 - FLOORS (1st - 3rd): 90/90/90
 - FIRE RESISTING LIFT SHAFT: 90/90/90
 - NON-LOADBEARING SERVICE SHAFTS: -/90/90
 - PROTECTION OF UNIT DOORS: -/60/30
- REF: BUILDABLE CONCEPT STAGE REPORT
- BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT
- BAL-LOW
- REF: BUILDABLE CONCEPT STAGE REPORT
- OPENINGS INTO SERVICES SHAFTS MUST BE PROTECTED PER NCC VOLUME 1, PART C4D14
- EXTERNAL BALCONY WEATHERPROOFING
- MINIMUM STEPDOWN TO BALCONIES 50mm
- 1:100 FALL AWAY FROM EXTERNAL WALLS IN ACCORDANCE WITH AS 4654.2
- CONDENSATION MANAGEMENT TO NCC VOLUME 1, PART F8

- WET AREAS
- WATERPROOFING TO WET AREAS: 1: 80 MINIMUM FALL TO REQUIRED FLOOR WASTES IN LAUNDRY AND BATHROOMS
- WET AREA CONSTRUCTION TO AS 3740 INCL. WATER RESISTANT SURFACE MATERIALS
- CONSTRUCTION TO LIVABLE HOUSING DESIGN STANDARD, AUSTRALIAN BUILDING CODES BOARD
- SOUND TRANSMISSION AND INSULATION
- FLOORS IN CLASS 2 & 3 – $R_w + C_{tr}$ (AIRBORNE) NOT LESS THAN 50 AND AN L_n, W (IMPACT) NOT MORE THAN 62.
- REF: NCC VOL. 1, PART F7D5
- WALLS IN CLASS 2 & 3 - $R_w + C_{tr}$ (AIRBORNE) NOT LESS THAN 50.
- REF: NCC VOL. 1, PART F7D6

NOTES:

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8		18.09.25	DELETE PATH / MOVE GATE
7		11.09.25	DA AMENDMENTS
6		10.06.25	MECH SCHEDULE ADDED
5		10.06.25	AREA SCHEDULES
4		06.06.25	TRAFFIC TO TCC SKETCH
3		30.05.25	SITE / TRAFFIC UPDATE
2		29.05.25	RESPONSE TO CERTIFIER

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BUILDING DESIGN OPEN RISE



Project: PROPOSED MULTIPLE DWELLINGS

Client: OPULENCE BUILDERS GROUP

Location: 2-14 WAVERLEY LANE, DOUGLAS

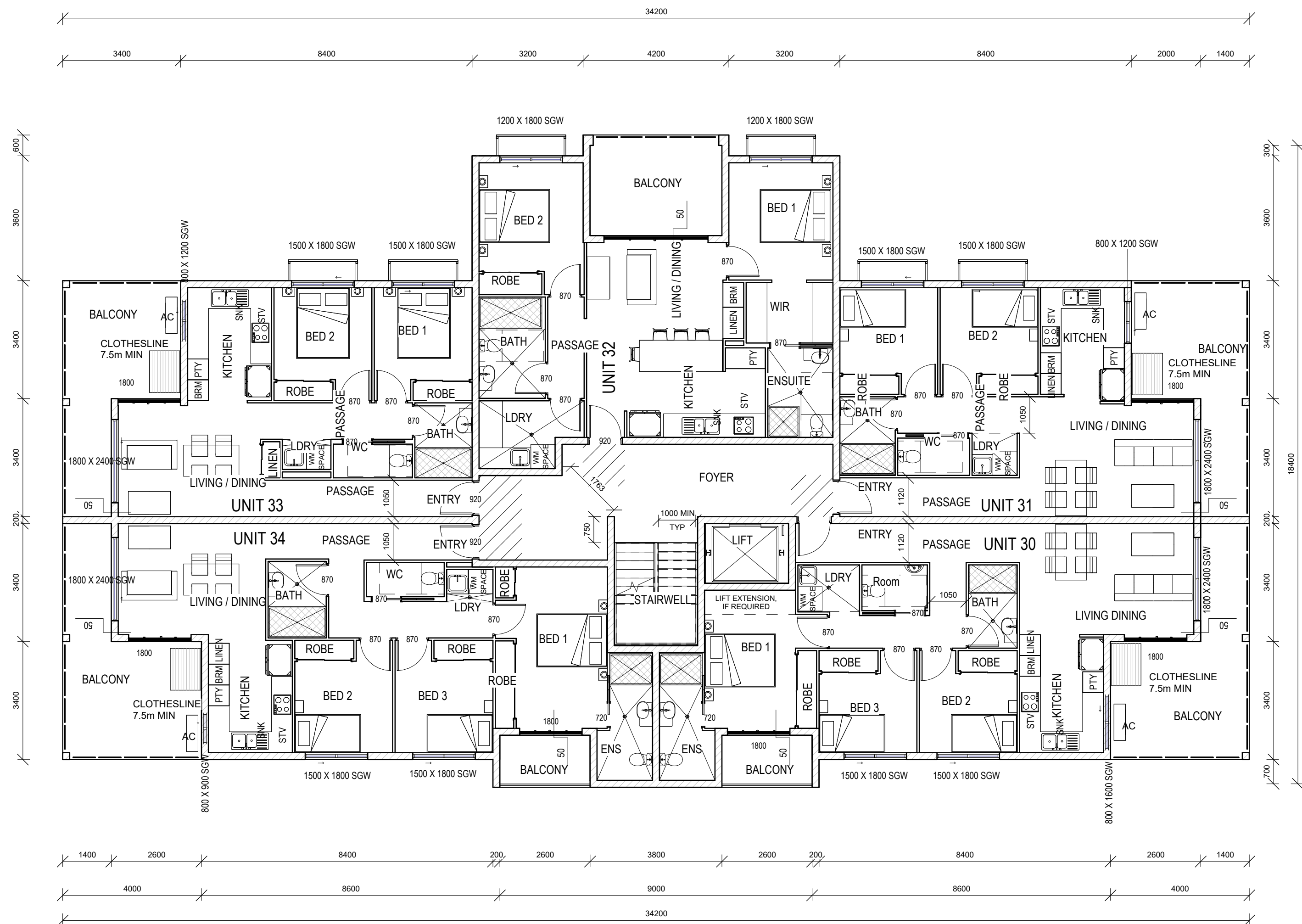
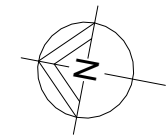
TITLE: BLK C - FLOOR PLAN - LEVEL 02

Date: 17.04.25 Drawn: Author

Scale: 1 : 100 Designed: Designer

Job No.:	Drawing No.:	Rev.
2025-093-R	DD 04-C-03	10

MECHANICAL EQUIPMENT SCHEDULE	
MARK	DESCRIPTION
AC	AIR CONDITIONING CONDENSER



1 BLK C - LEVEL 03 PLAN
1 : 100

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10/12/2025

WET AREAS
WATERPROOFING TO WET AREAS: 1: 80
MINIMUM FALL TO REQUIRED FLOOR
WASTES IN LAUNDRY AND BATHROOMS
WET AREA CONSTRUCTION TO AS 3740
INCL. WATER RESISTANT SURFACE
MATERIALS

CONSTRUCTION TO LIVABLE HOUSING
DESIGN STANDARD, AUSTRALIAN
BUILDING CODES BOARD

SOUND TRANSMISSION AND INSULATION
FLOORS IN CLASS 2 & 3 – $R_w + C_{tr}$
(AIRBORNE) NOT LESS THAN 50 AND AN
LN,W (IMPACT) NOT MORE THAN 62.
REF: NCC VOL. 1, PART F7D5
WALLS IN CLASS 2 & 3 – $R_w + C_{tr}$
(AIRBORNE) NOT LESS THAN 50.
REF: NCC VOL. 1, PART F7D6

LIST OF REQUIRED FRLs
EXTERNAL WALLS: 90/60/30
EXTERNAL COLUMNS 90/-/
INTERNAL WALLS BETWEEN SOUs AND
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SECOND FLOOR: 90/90/90
THIRD FLOOR: 60/60/60
FLOORS (1st - 3rd): 90/90/90
FIRE RESISTING LIFT SHAFT: 90/90/90
NON-LOADBEARING SERVICE SHAFTS:
-90/90
PROTECTION OF UNIT DOORS: -/60/30
REF: BUILDABLE CONCEPT STAGE REPORT
BUSHFIRE ATTACK LEVEL (BAL)
ASSESSMENT
BAL-LOW
REF: BUILDABLE CONCEPT STAGE REPORT
OPENINGS INTO SERVICES SHAFTS MUST
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PART C4D14
EXTERNAL BALCONY
WEATHERPROOFING
MINIMUM STEPDOWN TO BALCONIES
50mm
1:100 FALL AWAY FROM EXTERNAL
WALLS IN ACCORDANCE WITH AS 4654.2
CONDENSATION MANAGEMENT TO NCC
VOLUME 1, PART F8

NOTES:
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4	06.06.25	TRAFFIC TO TCC SKETCH	
3	30.05.25	SITE / TRAFFIC UPDATE	
2	29.05.25	RESPONSE TO CERTIFIER	

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Project: PROPOSED MULTIPLE
DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE,
DOUGLAS

TITLE: BLK C - FLOOR PLAN -
LEVEL 03
Date: 17.04.25 Drawn: DE
Scale: 1 : 100 Designed: Designer
Job No.: 2025-093-R Drawing No.: DD 04-C-04 Rev. 10



1 BLK A WEST ELEVATION
1 : 100

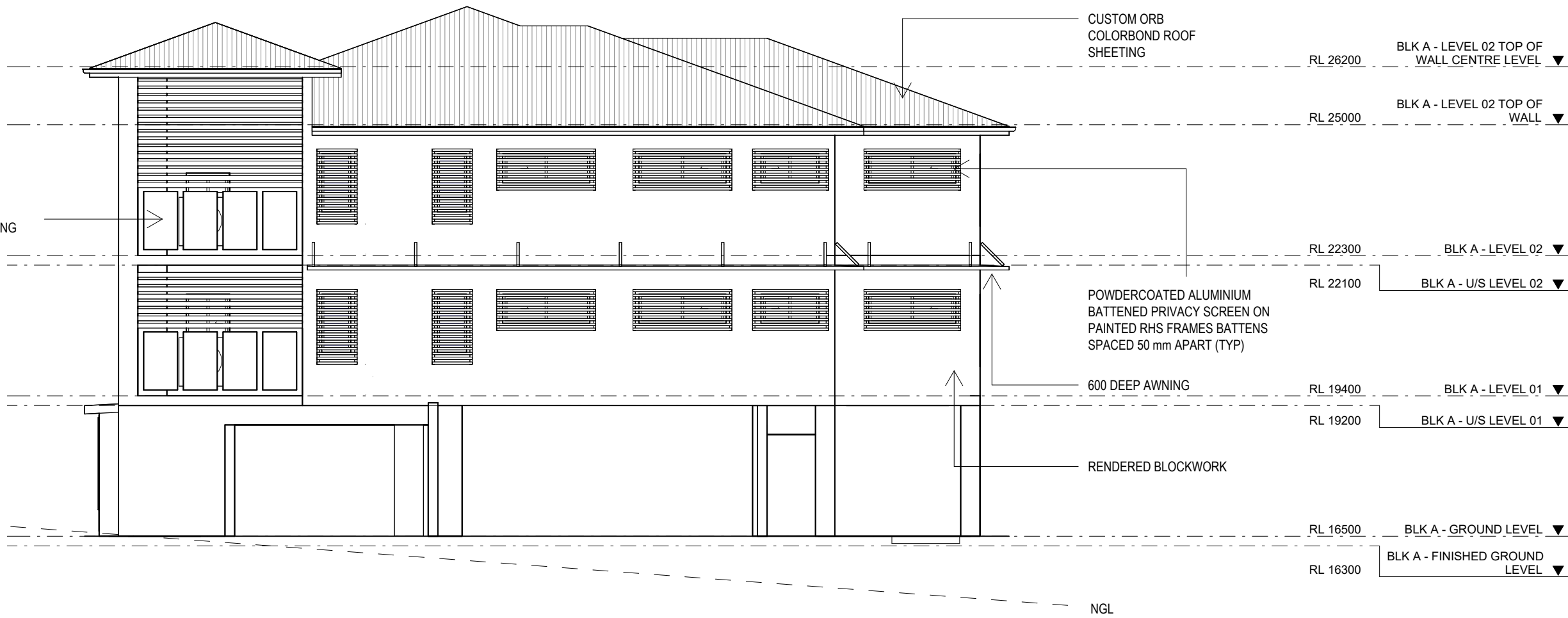


2 BLK A NORTH ELEVATION
1 : 100

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10/12/2025



3 BLK A EAST ELEVATION
1 : 100



4 BLK A SOUTH ELEVATION
1 : 100

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		DESCRIPTION

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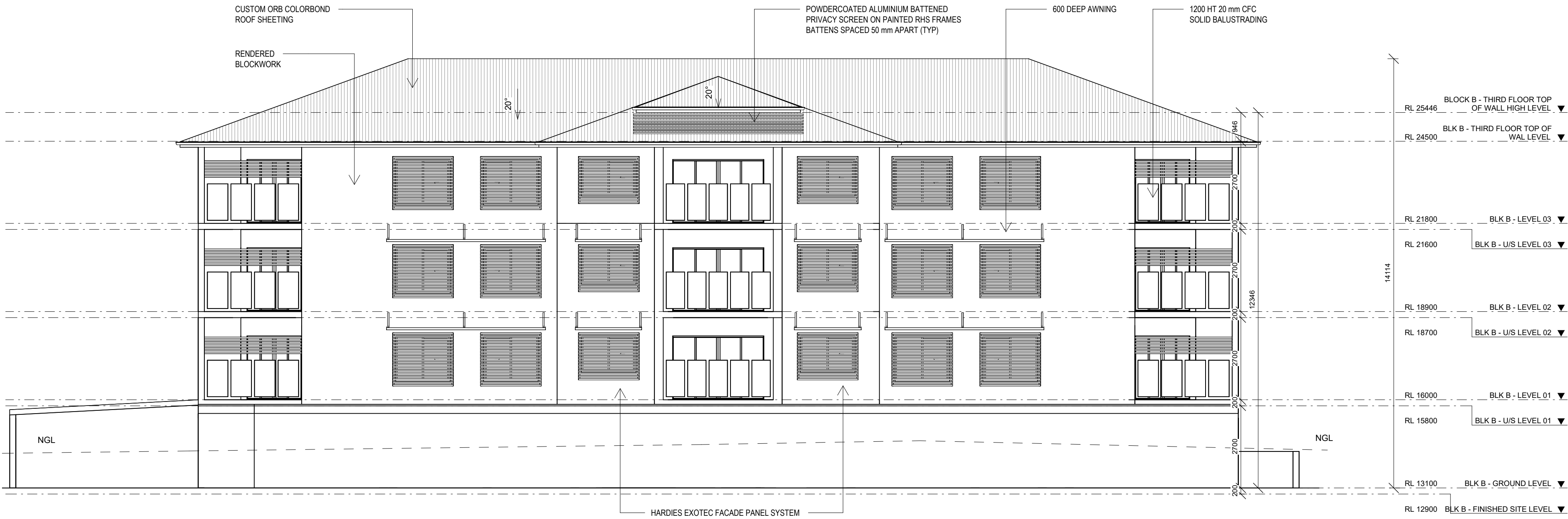


Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: ELEVATIONS

Date: 17.04.25 Drawn: Author
Scale: 1 : 100 Designed: Designer

Job No.: 2025-093-R Drawing No.: DD 05-A-01 Rev. 10



2 BLK B SOUTH ELEVATION
1 : 100



1 BLK B WEST ELEVATION
1 : 100

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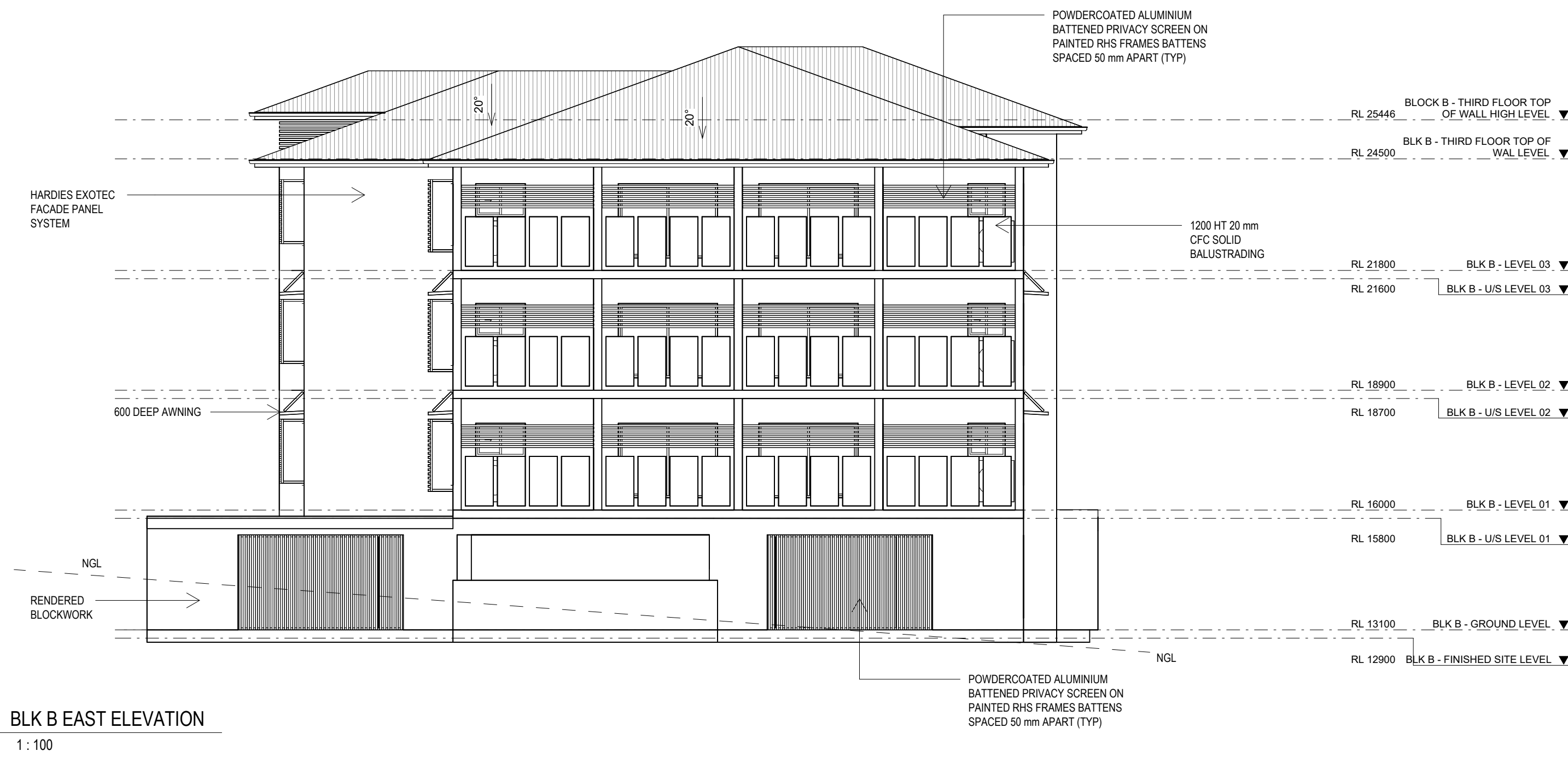
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Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: ELEVATIONS
Date: 17.04.25 Drawn: Author
Scale: 1 : 100 Designed: Designer
Job No.: 2025-093-R Drawing No.: DD 05-B-01 Rev. 10



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10/12/2025

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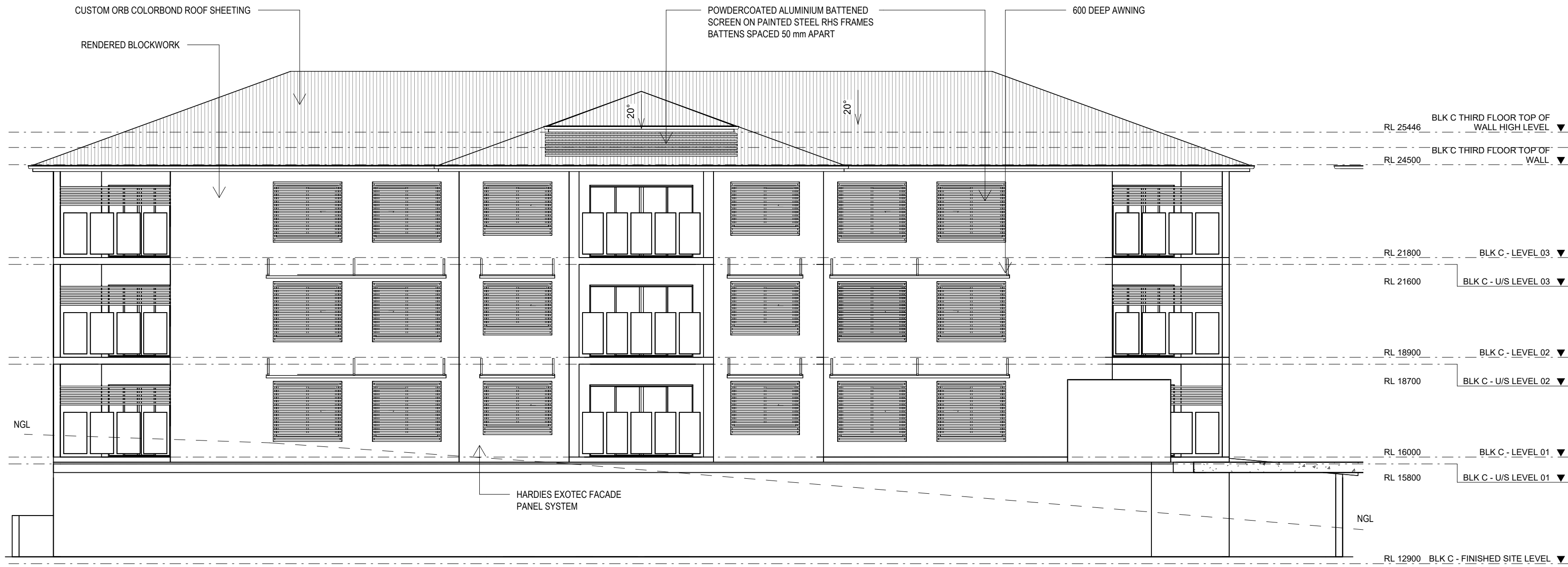


Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

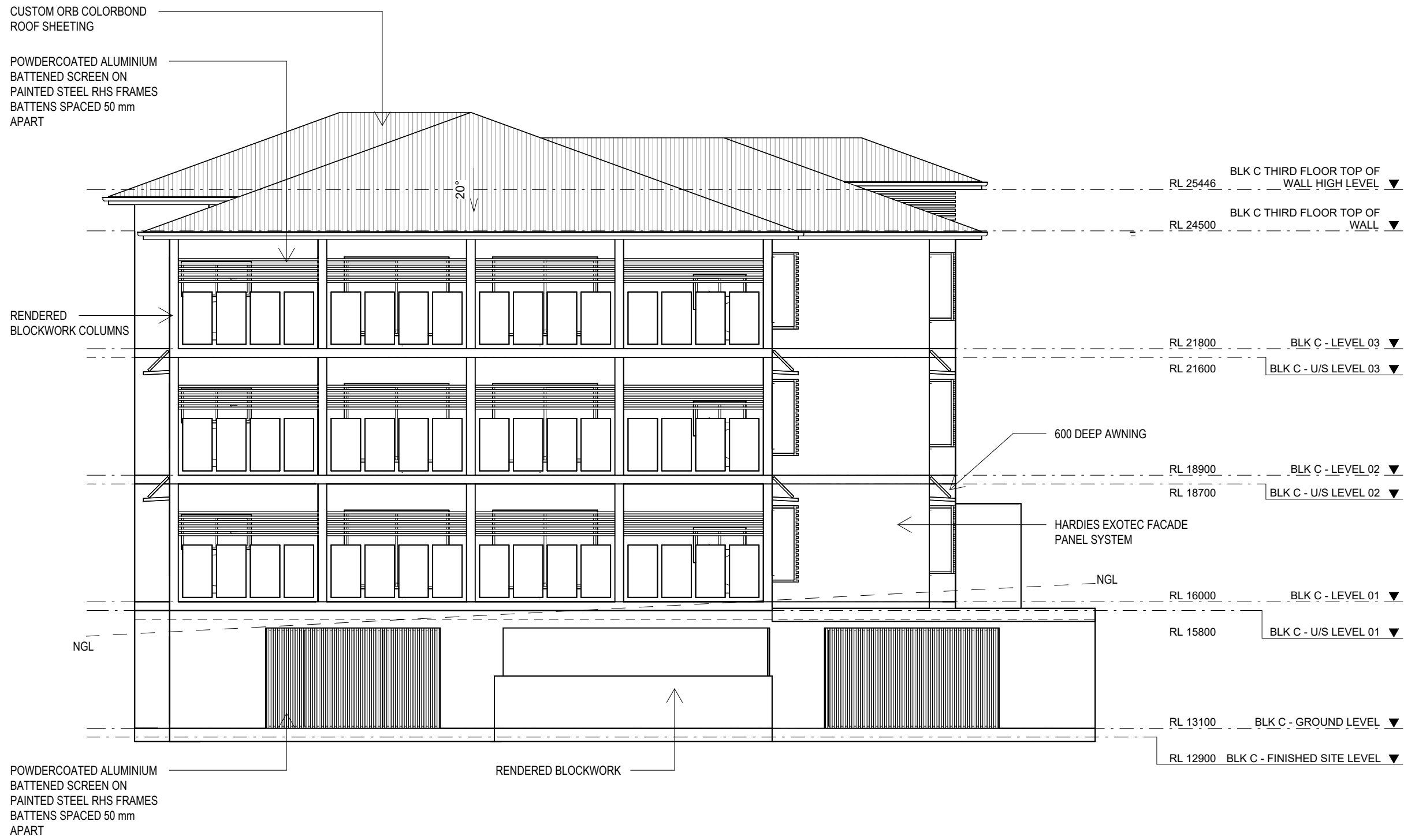
TITLE: ELEVATIONS

Date: 17.04.25 Drawn: Author
Scale: 1 : 100 Designed: Designer

Job No.: 2025-093-R Drawing No.: DD 05-B-02 Rev. 10



1 BLOCK C EAST ELEVATION
1 : 100



2 BLOCK C SOUTH ELEVATION
1 : 100

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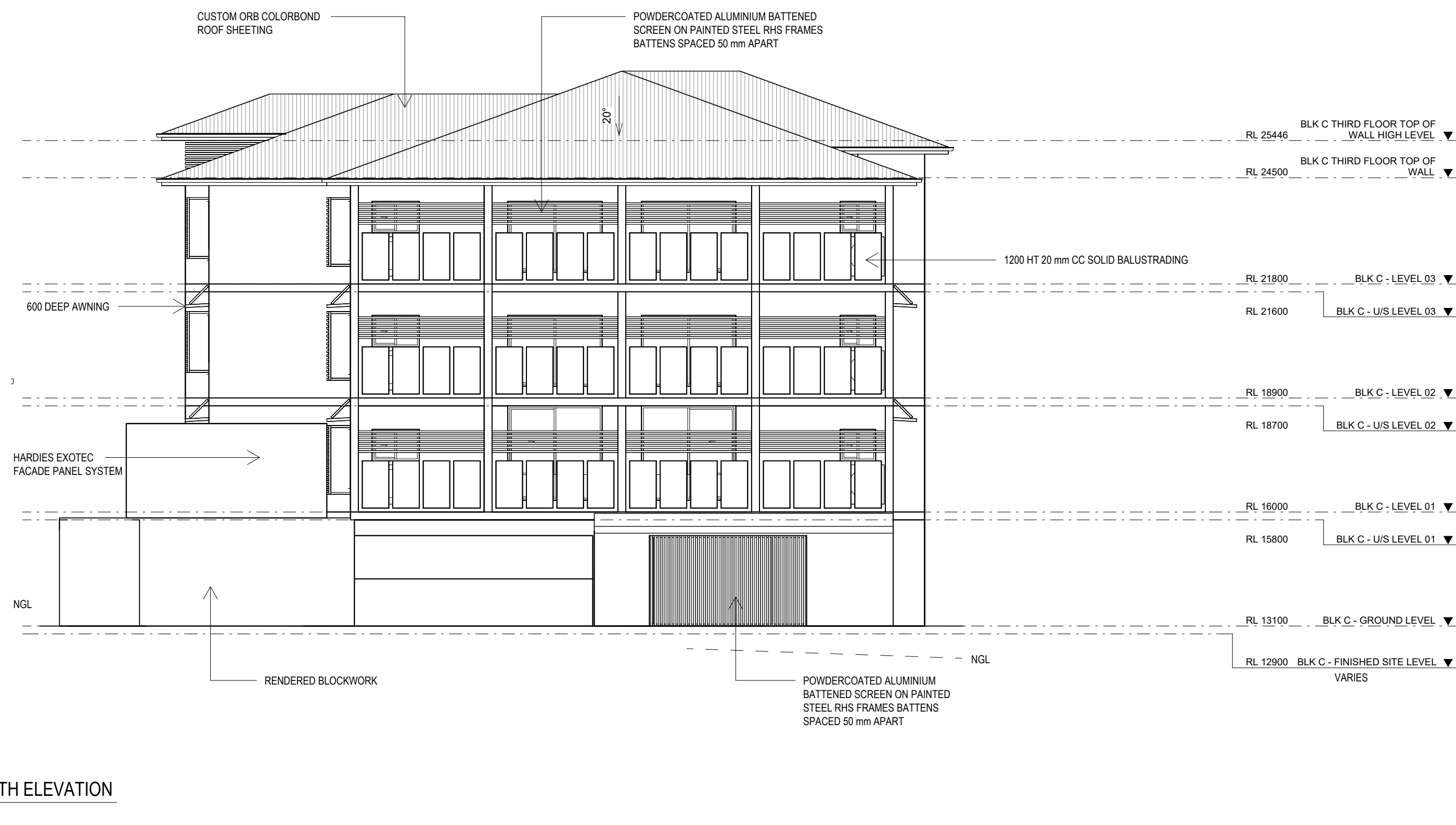
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Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: ELEVATIONS
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Scale: 1 : 100 Designed: Designer
Job No.: 2025-093-R Drawing No.: DD 05-C-01 Rev. 10



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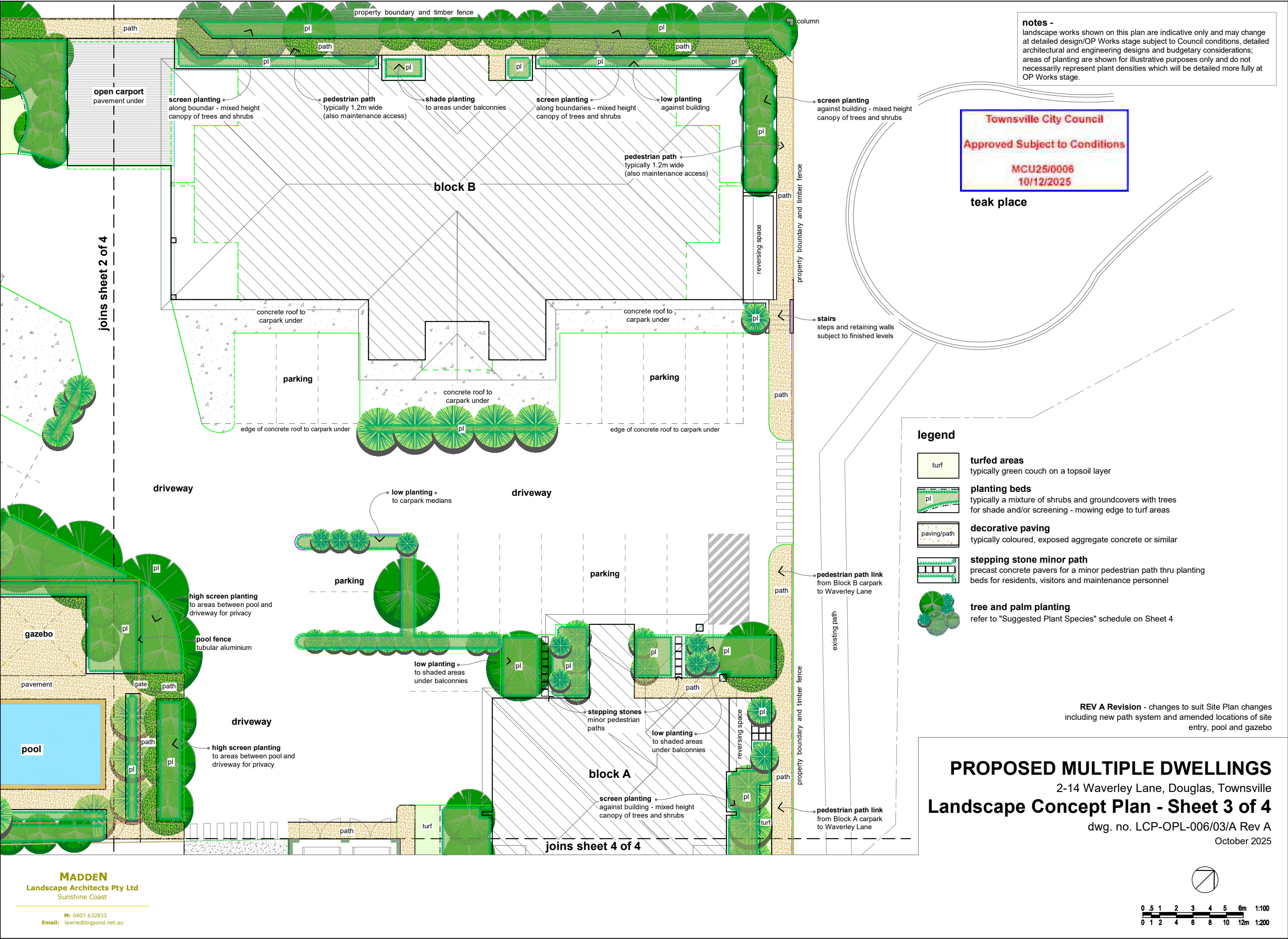


Project: PROPOSED MULTIPLE DWELLINGS
Client: OPULENCE BUILDERS GROUP
Location: 2-14 WAVERLEY LANE, DOUGLAS

TITLE: ELEVATIONS

Date: 17.04.25 Drawn: Author
Scale: 1 : 100 Designed: Designer

Job No.: 2025-093-R Drawing No.: DD Rev. 05-C-02 10



notes -
landscape works shown on this plan are indicative only and may change at detailed design/OP Works stage subject to Council conditions, detailed architectural and engineering designs and budgetary considerations; areas of planting are shown for illustrative purposes only and do not necessarily represent plant densities which will be detailed more fully at OP Works stage.

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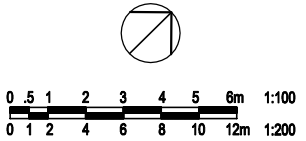
teak place

legend

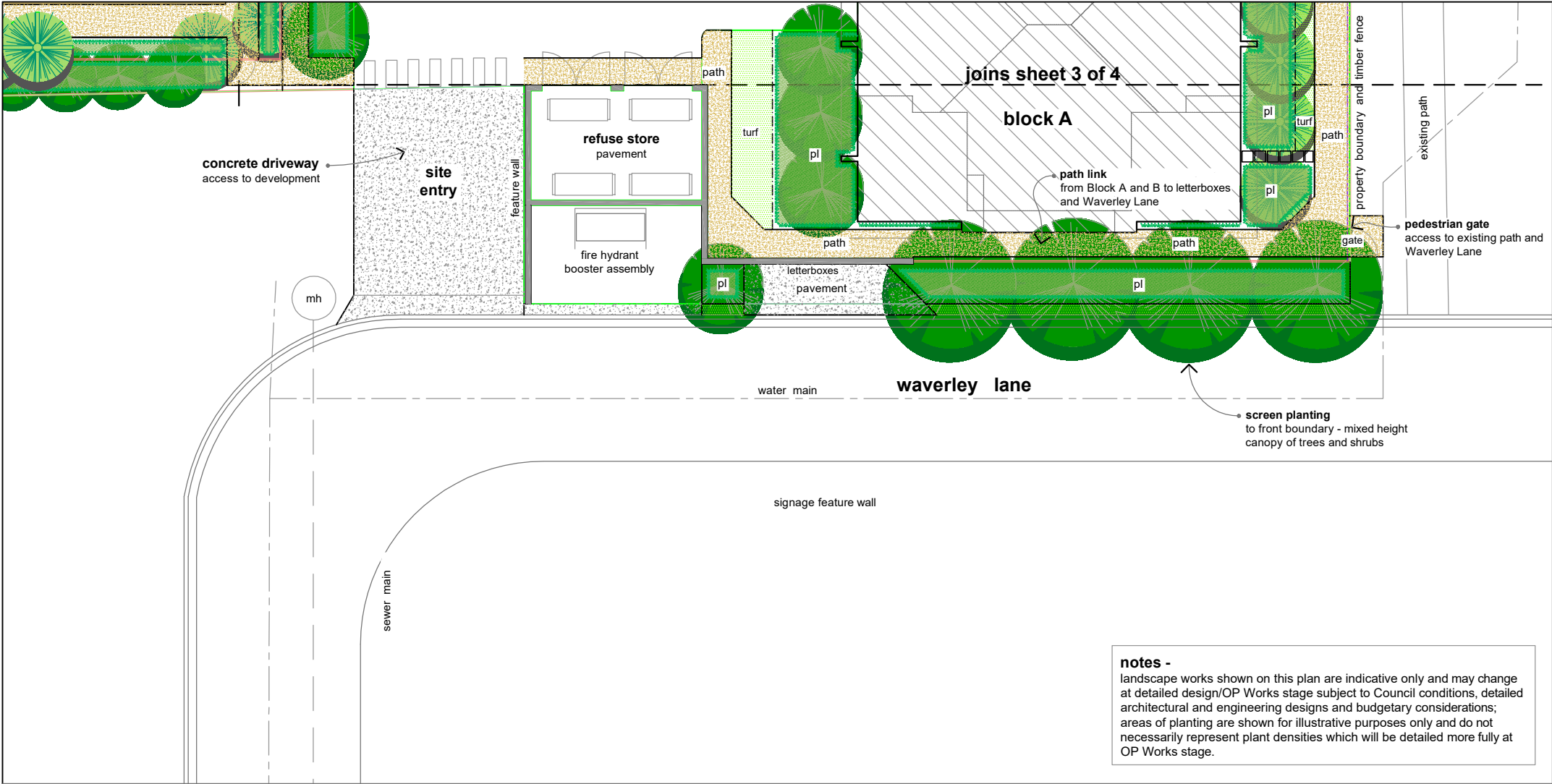
- turf typically green couch on a topsoil layer
- planting beds typically a mixture of shrubs and groundcovers with trees for shade and/or screening - mowing edge to turf areas
- decorative paving typically coloured, exposed aggregate concrete or similar
- stepping stone minor path precast concrete pavers for a minor pedestrian path thru planting beds for residents, visitors and maintenance personnel
- tree and palm planting refer to "Suggested Plant Species" schedule on Sheet 4

REV A Revision - changes to suit Site Plan changes including new path system and amended locations of site entry, pool and gazebo

PROPOSED MULTIPLE DWELLINGS
2-14 Waverley Lane, Douglas, Townsville
Landscape Concept Plan - Sheet 3 of 4
dwg. no. LCP-OPL-006/03/A Rev A
October 2025



MADDEN
Landscape Architects Pty Ltd
Sunshine Coast
M: 0407 632833
Email: lawrie@bigpond.net.au



notes -
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legend

- turfed areas**
typically green couch on a topsoil layer
- planting beds**
typically a mixture of shrubs and groundcovers with trees for shade and/or screening - mowing edge to turf areas
- decorative paving**
typically coloured, exposed aggregate concrete or similar
- stepping stone minor path**
precast concrete pavers for a minor pedestrian path thru planting beds for residents, visitors and maintenance personnel
- tree and palm planting**
refer to "Suggested Plant Species" schedule on this Sheet

Townsville City Council
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10/12/2025

PROPOSED PLANT SPECIES LIST

The following lists of plant species is intended to indicate the type and style of plants to be used throughout the proposed development. They can be typically described as tropical plants (a mix of native and non native species) which are known to grow well in Townsville's climate and soils provided they are watered adequately during periods of dry weather. The list is not intended to be exhaustive, not all plants listed may be used and other plants of a similar character may be used at the detailed design/OP Works stage. Note that should an irrigation system not be included in the works then less non native (exotic) plants will be used.

Typically native trees/shrubs will be used to the perimeter of the development, particularly to the boundaries facing the Ross River. However the use of large trees to these areas may be restricted somewhat due to the lack of space and/or close proximity to buildings. The use of colourful flowering native/exotic plants (trees, shrubs, groundcovers) will generally be restricted to more internal areas of the development, including to the pool surrounds and Waverley Street frontage. It is not intended to use large numbers of palms but where used will be planted in small clumps and mostly to internal areas of the site.

Trees

- ACMENA hemilampra
- BUCKINGHAMIA cellissima
- FRAXUS griffithii
- GREVILLEA bailyeana
- CORYMBIA / EUCALYPTUS species (platyphylla, tereticornis, tessellaris)
- MELALEUCA species (leucadendra, viridiflora)
- MILLETIA pinnata
- MIMUSOPS elengi
- NAUCLEA orientalis
- STERCULIA quadrifida
- SYZYGium species (cormiflorum, forte)
- TABEBUIA species (pallida, palmerii)
- WATERHOUSIA floribundum
- XANTHESTEMON chrysanthus

Palms

- ARCHONTOPHOENIX alexandrae
- LIVISTONIA australis

Shrubs

- ACALYPHA species (dwarf)
- ACMENA Allyn Magic
- CALLISTEMON species (Great Balls of Fire, Captain Cook, Wildfire, Mauve Mist)
- HIBISCUS species (Roseflake)
- IXORA species (Coral Fire, Malay Pink, dwarf red/yellow/pink etc)
- MELALEUCA species (Claret Tops, Snowstom, Snowfire)
- MICHELIA figo
- NANDINA domestica
- PHYLLANTHUS cuscufifloris
- RADERMACHERA Summerscent
- RAPHIOLEPSIS species (Springtime, pink etc)
- SYZYGium species (Aussie Southern and Boomer, Hinterland Gold)
- XANTHESTEMON species (Fairhill Gold, Little Goldie)

Groundcovers

- AUSTROMYRTUS dulcis
- CASUARINA glauca prostrate
- DIANELLA species (caerulea, Silver Border)
- GARDENIA radicans
- LIRIOPE species (green, white, variegated)
- LOMANDRA hystrix
- OPHIPOGAN species
- PHILODENDRON xanadu
- PHYLLANTHUS multiflorus
- RHOEO dwarf form
- TRACHELOSPERMUM tricolor
- VIOLA hederacae

Accent Plants

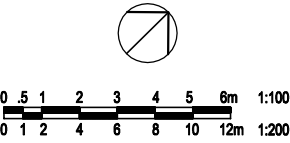
- CODIAEUM species (crotons)
- CORDYLINE species
- RUSSELIA species (Firecracker, Lemon Falls)
- SPATHYPHYLLUM Peace Lily
- STRELITZEA reginae
- YUCCA desmetiana

REV A Revision - changes to suit Site Plan changes including new path system and amended locations of site entry, pool and gazebo

MADDEN
Landscape Architects Pty Ltd
Sunshine Coast

M: 0407 632833
Email: lawrie@bigpond.net.au

PROPOSED MULTIPLE DWELLINGS
2-14 Waverley Lane, Douglas, Townsville
Landscape Concept Plan - Sheet 4 of 4
dwg. no. LCP-OPL-006/04/A Rev A
October 2025





Appendix 9



Townsville City Plan – Medium Density Residential Zone Code

Purpose

The purpose of the Medium Impact Industry Zone Code is to *provide for---*

- (a) *medium density multiple dwellings; and*
- (b) *community uses, and small-scale services, facilities and infrastructures, to support local residents.*

The local government purpose of the zone is to:

- (a) *provide opportunities for medium density living close to centres and other community nodes in a generally low to medium-rise built form;*
- (b) *maintain a high level of residential amenity; and*
- (c) *achieve accessible, well-serviced and well-designed communities.*

The purpose of the zone will be achieved through the following overall outcomes:

- (a) *residential development consists primarily of low-rise (up to 3 storeys in building height) apartments or town house style dwellings, together with a mix of lot sizes or duplex housing types. Taller, more intensive built form will generally be limited to key infill locations near the city's major centres, as specifically intended in particular precincts;*
- (b) *built form creates an attractive and pedestrian oriented streetscape which integrates with nearby centres, public transport and community activities;*
- (c) *reconfiguration creates lots which facilitate the location of dwellings which address the street and allow for climate-responsive building orientation;*
- (d) *residential uses may also include residential care facilities, retirement facilities, rooming accommodation and short-term accommodation;*
- (e) *development maintains a high level of residential amenity on the site and in the neighbourhood;*
- (f) *residential development is protected from the impacts of nearby centres, industrial activities, transport corridors and infrastructure installations and major facilities such as the port, airport and Department of Defence landholdings;*
- (g) *the design of development promotes accessibility by walking, cycling and public transport;*
- (h) *the design of development is responsive to the city's climate by taking into account prevailing breezes, slope and solar orientation, provision of awnings and promotes sustainable practices including energy efficiency and water conservation; and*
- (i) *non-residential uses only occur where they are specifically intended in particular precincts or where they primarily support the day-to-day needs of the immediate residential community, do not unreasonably detract from the residential amenity of the area and are not better located in nearby centres.*
- (j)

Performance Outcome/Acceptable Outcomes		Response
For accepted development subject to requirements and assessable development		
Home Based Business		
PO1: The use does not adversely impact on the amenity of the surrounding	AO1.1: The home based business: a) is carried out in an existing building or structure;	Not applicable



Performance Outcome/Acceptable Outcomes	Response
residential land uses and local character. b) does not use more than 60m² of the gross floor area of the building or structure; c) involves at least one or more residents of the dwelling house; d) involves not more than one non-resident employee; e) where bed and breakfast accommodation does not exceed three bedrooms; f) does not generate more than 1 heavy vehicle trip per week; g) does not generate more than 28 vehicle trips per day by other vehicles, where one trip includes arriving at the site and a second trip is departing the site. These trips are additional to normal domestic trips associated with the dwelling; h) contains visitor parking within the site; i) does not involve hiring out of materials, goods, appliances or vehicles; and j) does not involve the repair or maintenance of vehicles, other than minor maintenance of vehicles used in conjunction of the home business on the site. AO1.2: Functional aspects of the use such as service areas, material storage or use activities are not visible from the street. AO1.3: Other than where a bed and breakfast or home based childcare the business use does not operate outside the hours of 8am to 5pm Monday to Friday, 8am to 2pm Saturday and does not operate on Sunday. AO1.4: Noise levels do not exceed acoustic quality objectives under the <i>Environmental Protection (Noise) Policy 2008</i>.	
Sales Office	
PO2: The use does not adversely impact on the amenity of the surrounding land uses and local character.	AO2: Development of the sales office is in place for no more than two years. Not applicable



Performance Outcome/Acceptable Outcomes		Response
Secondary Dwelling		
PO3: Secondary dwellings are: a) are subordinate, small-scaled dwellings; b) contribute to a safe and pleasant living environment; and c) does not cause adverse impacts on adjoining properties	AO3: The secondary dwelling a) has a GFA, exclusive of a single carport or garage, of not more than 90m²; and b) is located not more than 20m from the primary house	Not applicable
For accepted development subject to requirements and assessable development		
Amenity		
PO4: Development minimises impacts on surrounding land and provides for an appropriate level of amenity within the site, having regard to: a) noise; b) hours of operation; c) traffic; d) visual impact; e) odour and emissions; f) lighting; g) access to sunlight; h) privacy; and i) outlook.		Complies The proposed development has been intentionally designed to enhance and maintain the existing residential character and amenity of the surrounding locality, particularly noting Medium density residential built-form within surrounding land along the Waverley frontage. The proposed development is considered to achieve PO4, given: ▪ The proposed built form has been intentionally designed and sited to be suitably setback from the Waverley Lane frontage. ▪ Proposed built-form directly presenting to the Waverley Lane frontage is limited to a single storey ablution block and open gazebo structure to maintain of comparable scale to surrounding built form. ▪ The proposed development facilitates all traffic through Waverley Lane, maintaining the existing nature of traffic movement within the road corridor. ▪ The accommodation buildings are suitably setback within the site from the Waverley Lane frontage to buffer from surrounding residential uses. ▪ The proposed development incorporates screening to all private outdoor balconies and



Performance Outcome/Acceptable Outcomes	Response
	external windows, mitigating noise emissions, visual impact, privacy and overlooking impact to surrounding residents. ▪ The proposed development involves extensive landscaping throughout. ▪ The proposed development provides for a multiple dwelling use that is consistent with existing development within the immediate surrounding locality. Particularly noting the adjoining property at 237-239 Riverway Drive, being a five storey, mixed use development involving health care services to the ground floor and accommodation to the upper storeys. ▪ Screen fencing, landscaping and hardscaped pedestrian pathway is provisioned to the full extent of the Waverley Lane frontage to mitigate visual impact of the open communal space. ▪ The proposed development involves a residential use supported by surrounding residential and centre uses and infrastructure. ▪ In-excess of the nominated minimum on-site car parking rate of the planning scheme are provided as part of the proposal. ▪ Shared recreational space associated with the development has been strategically located to the front of the development site to remain visually subservient to the wider development site and remains buffering from surrounding residential development by adjoining road parcel and easement parcels.
PO5: Landscaping is provided to enhance the appearance of the development, screen unsightly components, create an attractive on-site environment and provide shading.	Complies The proposed development provides for appropriate landscaping on-site. Specifically:



Performance Outcome/Acceptable Outcomes		Response
		- A 4.5m wide hard and soft scaped landscaping strip is provided to the road frontage. - Screen fencing is afforded to the full extent of the Waverley Lane frontage. - Refuse facilities and plant equipment is appropriately screened and not visible from the road frontage. - Extensive landscaping is provisioned throughout the site, particularly to parking areas, providing a high level of amenity and shading.
Crime prevention through environmental design		
PO6: Development facilitates the security of people and property having regard to: a) opportunities for casual surveillance and sight lines; b) exterior building design that promotes safety; c) adequate lighting; d) appropriate signage and wayfinding; e) minimisation of entrapment locations; and f) building entrances, loading and storage areas that are well lit and lockable after hours.		Complies The proposed development involves a multiple dwelling with access and fenestrations overlooking Waverley Lane and established parkway along Ross River, providing increased opportunity for casual surveillance.
PO7: Development promotes the safety of residents and visitors, particularly through casual surveillance of the street and public spaces.	AO7.1: Buildings are designed to have balconies, windows and building openings overlooking streets and other areas which are accessible to the public. AO7.2: Fences or walls along a street frontage have a maximum height of 1.2m where solid, or 1.8m where that portion of the fence above 1.2m high at least 50% transparent.	Complies The proposed development provisions pedestrian pathway to majority of the site boundaries within the development, allowing suitable opportunity for overlooking and surveillance of Waverley Lane and surrounding open space.
Built form		
PO8: Design elements contribute to an interesting and attractive streetscape and building through: a) the provision of projections and recesses in the façade which reflect changes in internal functions of buildings including circulation; b) variations in material and building form; c) modulation in the façade, horizontally or vertically; d) articulation of building entrances and openings; e) corner treatments to address both street frontages for a premises on a corner; f) elements which assist in wayfinding and legibility; and g) elements which relates to the context including surrounding buildings, parks, streets and open spaces.		Complies The proposed development provides for a high level of visual amenity and is considered to provide a positive contribution to the streetscape. In particular, the following design elements are noted: - Low pitch hip roof form to all structures. - A mix of lightweight and solid materials utilised to create visual interest. - Climate-responsive materials and design.



Performance Outcome/Acceptable Outcomes		Response
PO9: Air conditioning units are insulated so that adjoining properties are not affected by the noise source, and are not significantly visible from the street.		Complies Air conditioning units associated with the proposed development will be suitably located so as not to cause visual or noise impact to surrounds.
Assessable Development		
Parking and servicing		
PO10: Parking facilities are located to be concealed from public view to ensure an attractive streetscape.	AO10: Vehicle parking structures are located: a) behind the building setback; or b) behind the building; or c) at basement level.	Complies Covered car parking is provided to the understorey of both accommodation buildings and within two carports.
PO11: Waste disposal and servicing areas are screened from public view and do not have adverse amenity impacts on adjoining properties.		Complies The proposed development involves dedicated bulk waste refuse area associated with the development, screened by 1.8m fencing from public view.
Assessable Development – where a non-residential use		
PO12: Non-residential uses establish only where: a) compatible with local character and amenity; b) limited in scale and supporting the day-to-day needs of the local community or as specifically intended for a particular precinct; and c) not impacting on the role and function of the city's network of centres or more appropriately located in another zone.		Not applicable
Assessable Development – where a Multiple Dwelling, Residential Care Facility, Retirement Facility or Short-term Accommodation with a building height of 3 storeys or less		
Built form		
PO13: Building height and scale is proportionate to the size of the premises and the desired low-rise character of the area.	AO13: Building design achieves: a) a site cover that does not exceed 65%; and b) a building height that does not exceed 3 storeys.	Complies The proposed development does not involve a site cover that exceeds 65%. The proposed development involves the construction of 2x four storey structures, 1 x ablution block and 1x roofed gazebo area. It is considered the proposed is suitable in the context of the locality, noting the adjoining development comprising five storeys.
PO14: Building design and setbacks: a) create an attractive, consistent and cohesive scale along the streetscape; b) maintain appropriate levels of light and solar penetration, air circulation, privacy and amenity for existing and future buildings; and	AO14.1: Buildings are set back from street frontages: a) within 20% of the average front setback of adjoining buildings; or b) where there are no adjoining buildings, 3m.	Complies The subject site directly adjoins telecommunications infrastructure (Telstra exchange) to the east and carparking associated the mixed-use development to the south. The outermost projection of the ablution structure is 4.5m from the road frontage. It is considered the proposed setback positively contributes to



Performance Outcome/Acceptable Outcomes	Response
c) do not prejudice the development of adjoining sites.	the streetscape, and bulk of the façade is appropriately reduced with roof style, variation in building materials and finish, extensive landscape and screen fencing. The development is considered consistent with the setback of surrounding residential development.
AO14.2: The side boundary setback, except for a wall built to the boundary, is a minimum of: a) 1.5m for a wall up to 4.5m high; b) 2m for a wall up to 7.5m high; and c) 2.5m for any part of a wall over 7.5m high	Complies The proposed development is appropriately setback from all site boundaries. It is noted the proposed design generally accords with the siting and design of previously approved development (Council ref. MCU25/0006) with the exception of removal of forward facing building. Therefore it is considered the siting and design of accommodation Block B and C is suitable for the site.
AO14.3: The rear boundary setback is a minimum of 6m.	Complies The rear setback of the site is considered the northern side boundary that backs onto the Ross River. Accommodation Block B is approximately 3m from habitable space. The proposed rear setback is considered appropriate for the site, particularly given the site adjoins existing open space and parkway along Ross River to the rear, noting no built-form directly adjoins the rear of the site. Additionally, a landscaping strip is provided to the full extent of the rear boundary. Additionally, the proposed rear siting is consistent with the siting and design of previously approved development (Council ref. MCU25/0006).
AO14.4: A landscape area with a minimum dimension of 1.5m is provided along the full frontage of any road frontage (excluding crossover and pedestrian access only).	Complies A landscape strip with a width of approximately 4.5m is provided to the full extent of the Waverley Lane frontage, excluding the crossover. A landscaping strip is provided to the Teak Place frontage.
PO15: Built to boundary walls do not impact on the amenity or privacy of adjoining premises.	AO15: Built to boundary walls: a) are for non-habitable rooms or spaces only; b) are not located within 1.5m of a habitable room Not applicable



Performance Outcome/Acceptable Outcomes		Response
	or house on an adjoining site; c) are not located within the front or rear setback; d) have a maximum height of 3m; and e) have a maximum length of 15m.	
PO16: Roof form assists in reducing the appearance of building bulk by: a) articulating individual dwellings; and b) incorporating variety in design through use of roof pitch, height, gables and skillions.		Complies The proposed development involves a hip roof form that contributes to a reduction in the appearance of bulk and scale of the development.
PO17: Development provides private open space that is: a) well-proportioned, appealing, functional and easily accessible, and promotes outdoor living as an extension of the dwelling; b) provides a high level of privacy for residents and neighbours; and c) has sufficient size and shape to meet the needs of a diversity of potential residents.	AO17.1: For a ground floor dwelling, ground floor private open space is provided with: a) a minimum area of 25m²; b) a minimum dimension of 4m; and c) clear of any utilities such as gas, water tanks or air-conditioning units	Complies Shared open space is provisioned within the development surrounding the proposed accommodation buildings.
	AO17.2: Balconies are provided with a minimum area of 9m ² for a 1 bedroom unit or 16m ² for a 2 or more bedroom unit, with a minimum dimension of 4m and clear of any air conditioning unit or drying space.	Complies The proposed development provisions a private balcony to each unit. Block B & C involve balconies of approximately 18m ² . The proposed private outdoor space is considered sufficient for the proposed scale of the subdivision.
	AO17.3: Where clothes drying areas are provided on private balconies they are screened from public view.	Complies Where clothes drying areas are provided within the balconies of the units, these are sufficiently screened.
	AO17.4: Private open space is located or screened so it does not directly overlook main living areas or private open space of adjoining dwellings.	Complies Screening is provisioned to all outdoor balconies to maintain privacy of adjoining residents and reduce overlooking impact.
PO18: Sufficient communal open space is provided to create flexible spaces suitable for a range of activities.		Complies Dedicated communal open space is provided within the site, involving a pool, open gazebo and ablution block as well as open landscaped area surrounding the proposed accommodation buildings.
PO19: Communal open space provides facilities including landscaping and shade treatments such as green roofs, green walls or community gardens contribute to the attractiveness of these spaces.		Complies Proposed communal open space within the development is significantly landscaped and involves shade treatments such as the proposed gazebo within the shared pool area and shade trees internally within the site.



Performance Outcome/Acceptable Outcomes		Response
Assessable Development – where a Multiple Dwelling, Residential Care Facility, Retirement Facility or Short-term Accommodation with a building height of 4 storeys or more		
Built form		
PO20: Building design creates an enjoyable pedestrian environment and experience through the use of: a) design elements that promote a sense of human scale at the street level, including use of awnings where appropriate; b) design that breaks up the ground floor elevation on the principle street frontage into distinct elements; and c) articulation of the built form above ground floor through use of balconies, recesses and changes in material.		Complies The proposed development incorporates building articulation and design treatments that contribute to a high-quality pedestrian environment. The ground floor elevation is broken into distinct elements through varying setbacks, material differentiation and façade articulation. Upper levels incorporate balconies and material variations, further modulating the built form and contributing to a visually balanced streetscape.
PO21: Building design and setbacks: d) create an attractive, consistent and cohesive scale along the streetscape; e) maintain appropriate levels of light and solar penetration, air circulation, privacy and amenity for existing and future buildings; and f) do not prejudice the development of adjoining sites.	AO21.1: The design meets the setback requirements outlined by Table 6.2.2.3(b) — Building setbacks Medium density residential zone.	Complies The proposed development achieves the nominated setback requirements of Table 6.2.2.3(b).
	AO21.2: A deep planting landscape area with a minimum width of 1.5m is provided along the full frontage of any road frontage (excluding crossover and pedestrian access).	Complies Suitable landscaping area is provided to the frontage of the subject site.
	AO21.3: A deep planting landscape area with a minimum width of 1.5m is provided along the rear site boundary.	Complies Suitable landscaping area is provided to the rear of the subject site.
PO22: Roof forms assist in articulating the facade as a combination of distinct elements integrated with the facade design.		Complies The proposed development involves hipped roof form, minimising the bulk and scale of the accommodation buildings, noting these comprise four storeys.
PO23: Roof top plant and equipment are contained within roof forms and are screened from the street and from adjoining buildings using a consistent range of non-reflective materials to provide a cohesive design element.		Complies The proposed development does not propose externally viable rooftop plant and equipment in accordance with provided elevation plans.
PO24: Development provides private open space that is: a) well-proportioned, appealing and functional and easily accessible, and promotes outdoor living as an extension of the dwelling;	AO24.1: Balconies are provided with a minimum area of 9m ² for a 1 bedroom unit or 16m ² for 2 or more bedroom unit, with a minimum dimension of 4m and clear of any air conditioning unit or drying space.	Complies Suitably sized balconies are provided to each dwelling, with these appropriately screened.
	AO24.2:	



Performance Outcome/Acceptable Outcomes		Response
b) provides a high level of privacy for residents and neighbours; and c) has sufficient size and shape to meet the needs of a diversity of potential residents.	Where clothes drying areas are provided on private balconies they are screened from public view. AO24.3: Private open space is located or screened so it does not directly overlook main living areas or private open space of adjoining dwellings.	
PO25: Sufficient communal open space is provided to create flexible spaces suitable for a range of activities and to mitigate the intensity of the built form.		Complies The proposed development provides for a pool and gazebo area, promoting communal interaction between residents. Additional landscaped area is provided adjacent each accommodation building.
PO26: Communal open space provides facilities including seating, shade, flexible spaces suitable for a range of activities. Treatments such as green roofs, green walls or community gardens contribute to the attractiveness of these spaces.		Complies The proposed development includes communal open space centrally located within the subject site that incorporates seating, shaded areas and flexible spaces to accommodate a range of recreational and social activities. Landscaping treatments, including screen planting and green buffers, enhance amenity and provide a visually appealing and functional outdoor environment.
Additional benchmarks for assessable development within precincts		
PO27 – PO90: Not applicable given the subject site is not located within the identified precincts.		